
101 WOLFS LANE

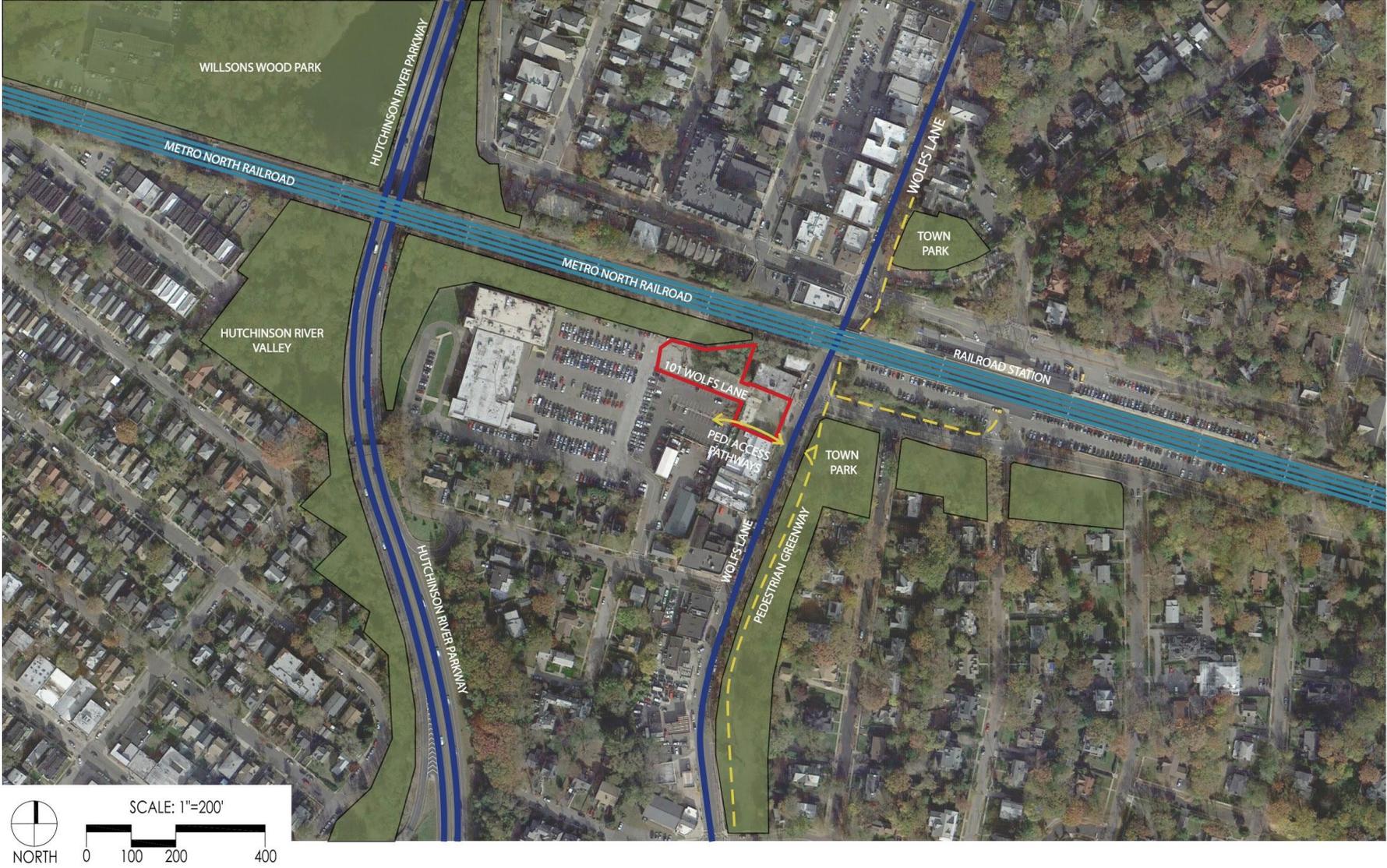
June 2015

Relevant Experience

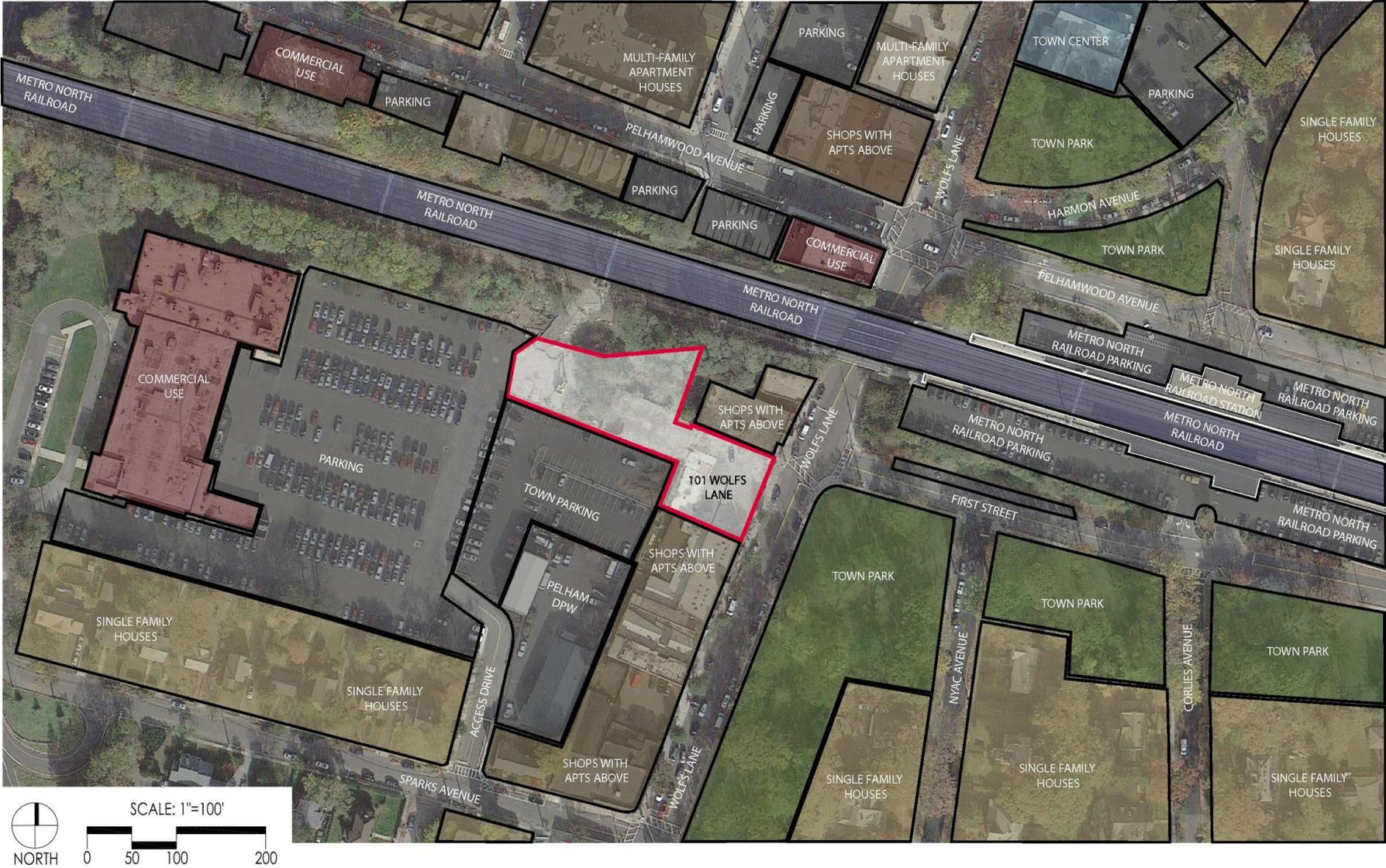
- Guadalupe Center, Kerrville, TX
- Coronado Estates, Kerrville, TX
- Chappaqua Commons, Chappaqua, NY
- Thornwood School Apartments, Thornwood, NY
- The Castle on the Hudson, Tarrytown, NY
- University Club, New York City, NY
- Berkshire Place, New York City, NY
- College of Mount Saint Vincent - Mastronardi Residence Hall
- The Masters School New Faculty Housing
- Yale University - Timothy Dwight College and Rosenfeld Hall
- Residential Master Planning:
 - Bridge Street, Irvington, NY
 - Eagle Ridge, Steamboat Springs, CO
 - Watch Hill Condominiums, Greenburgh, NY
 - Rosebud Condominiums, Patterson, NY
 - Hyatt Classic Residence, CCRC Projects
 - Koriyama Golf Club and Guest Cottages, Tohoku, Japan
 - Mitsubishi Housing, Osaka, Japan
 - North Farms Condominiums, Bristol, RI
 - Castle Point Condominiums, Fishkill, NY



Context Analysis



Site Analysis

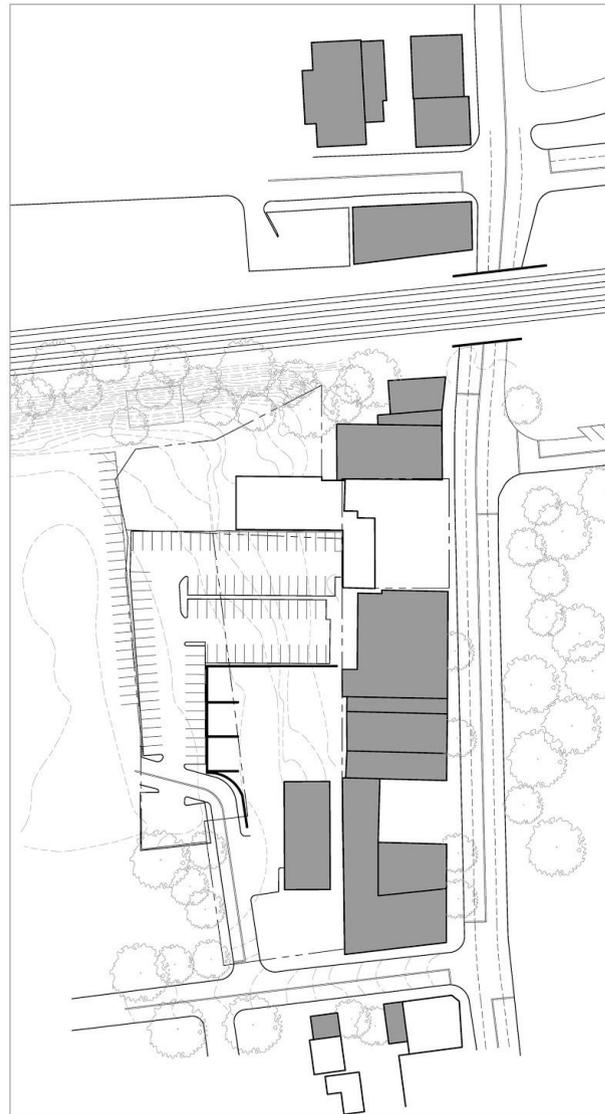


Site Plan



SCALE: 1"=50'
0 25 50 100 200

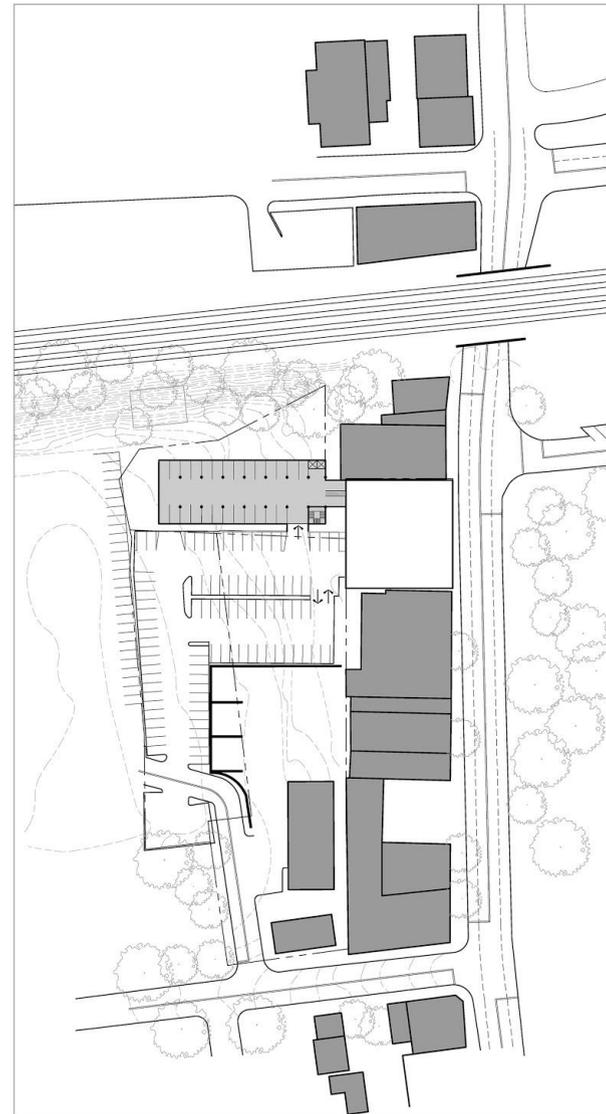
Parking Analysis



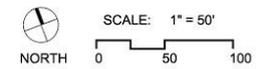
EXISTING CONDITIONS



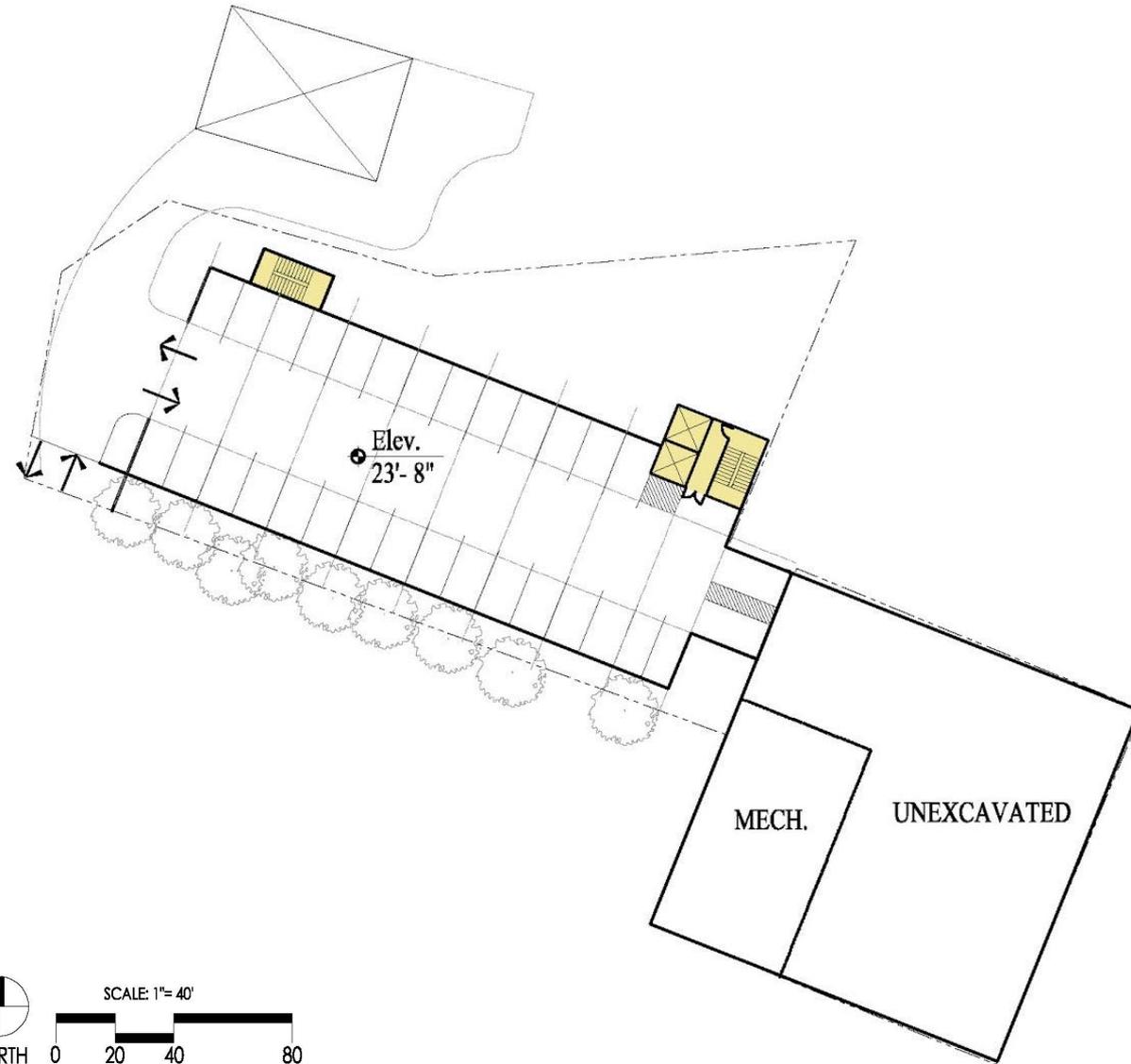
LOWER LEVEL



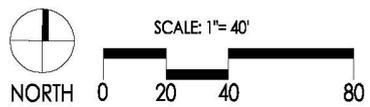
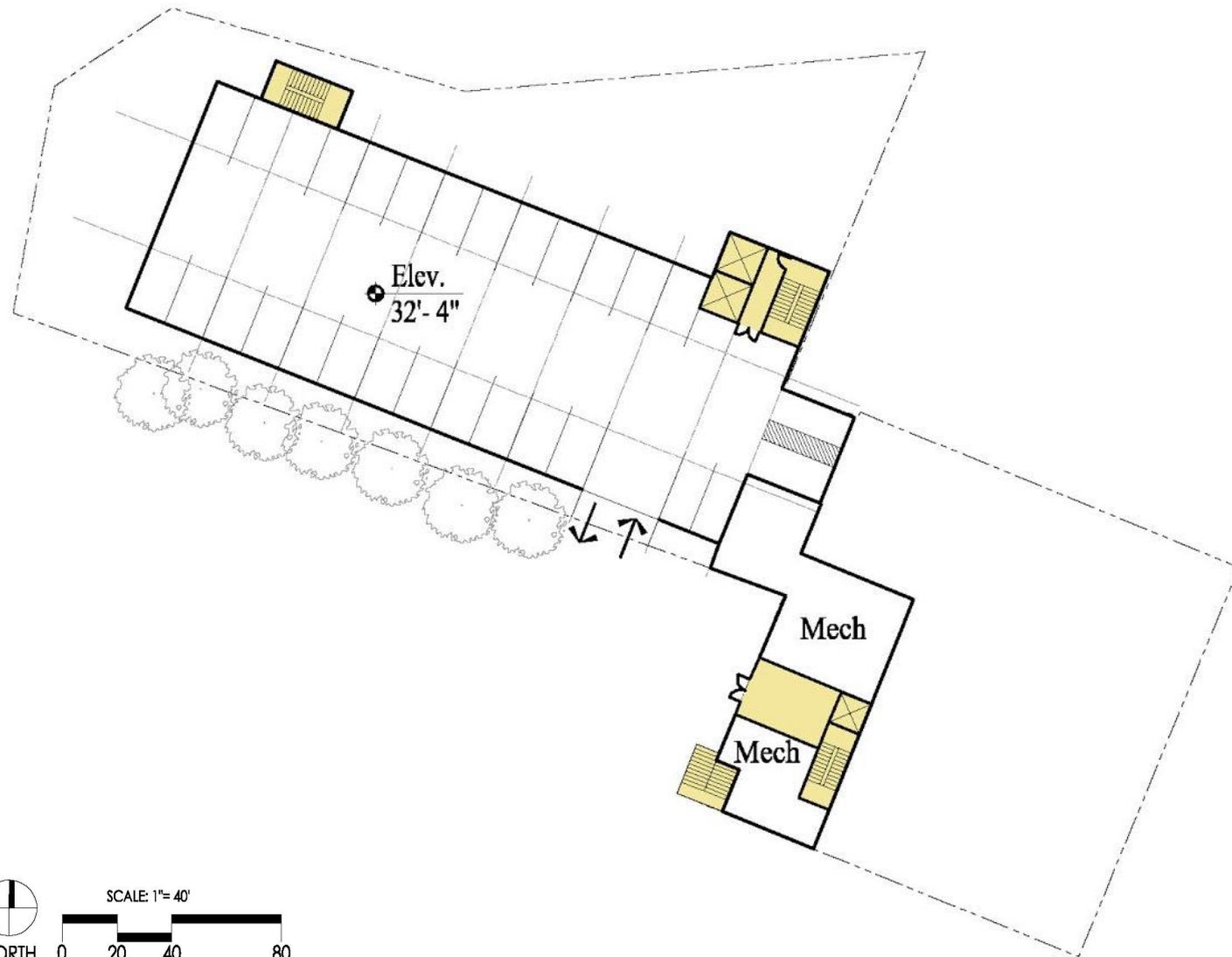
SECOND LEVEL



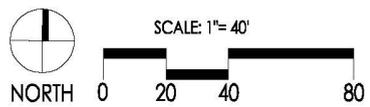
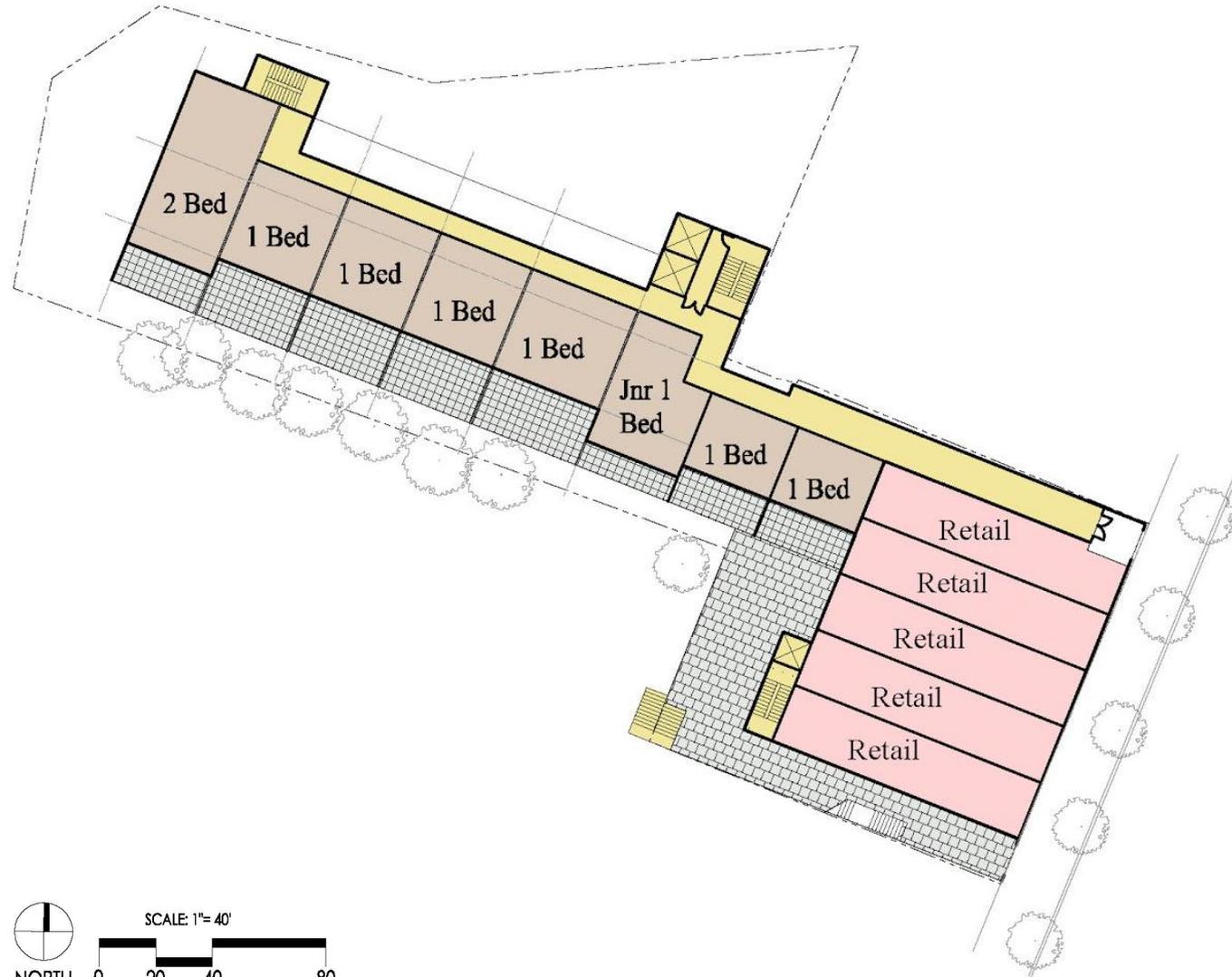
Garage - Lower Level



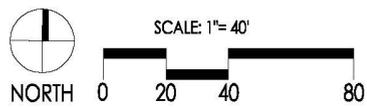
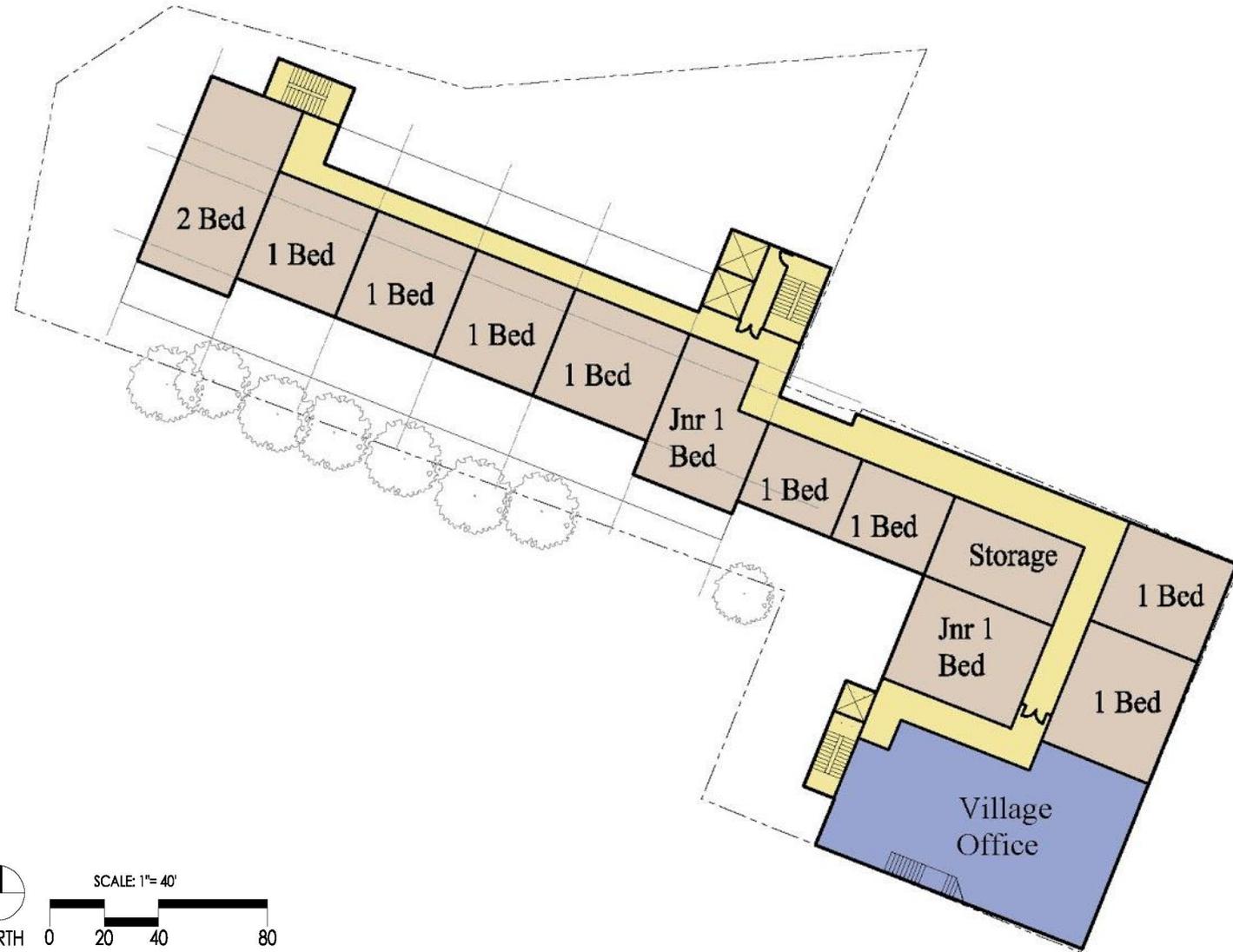
Garage - Upper Level



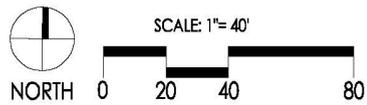
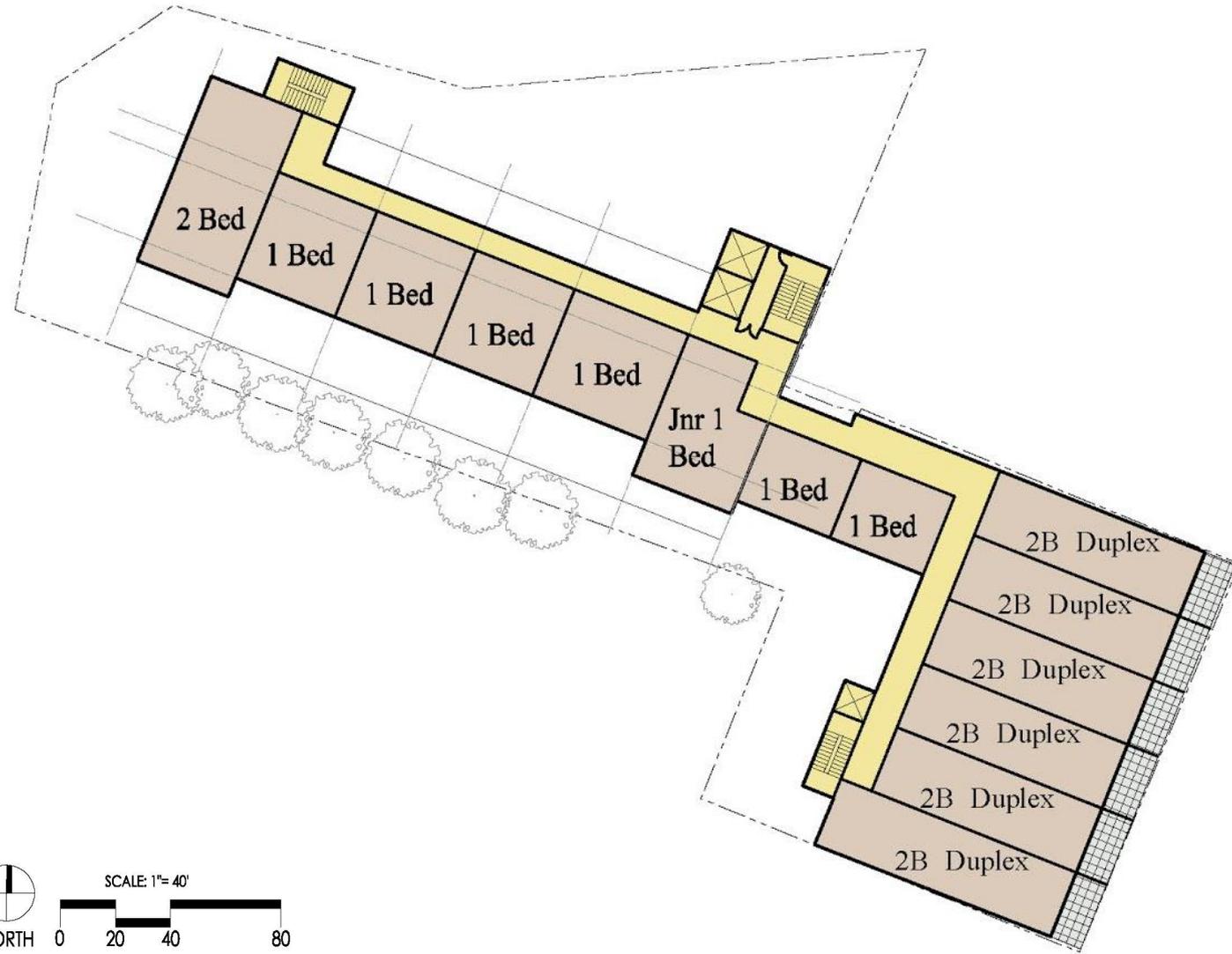
Street Level



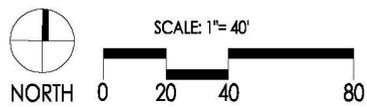
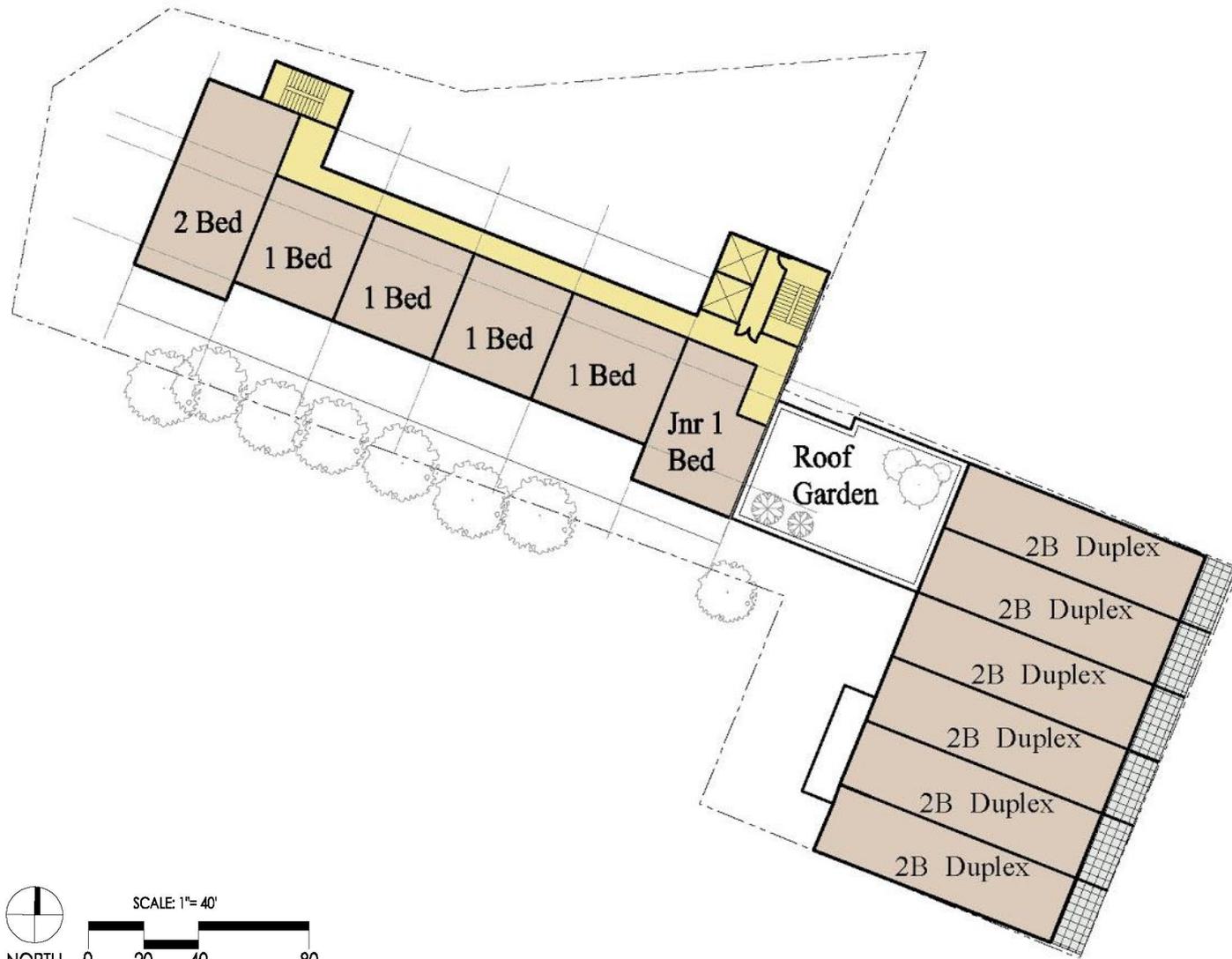
Second Level



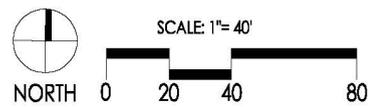
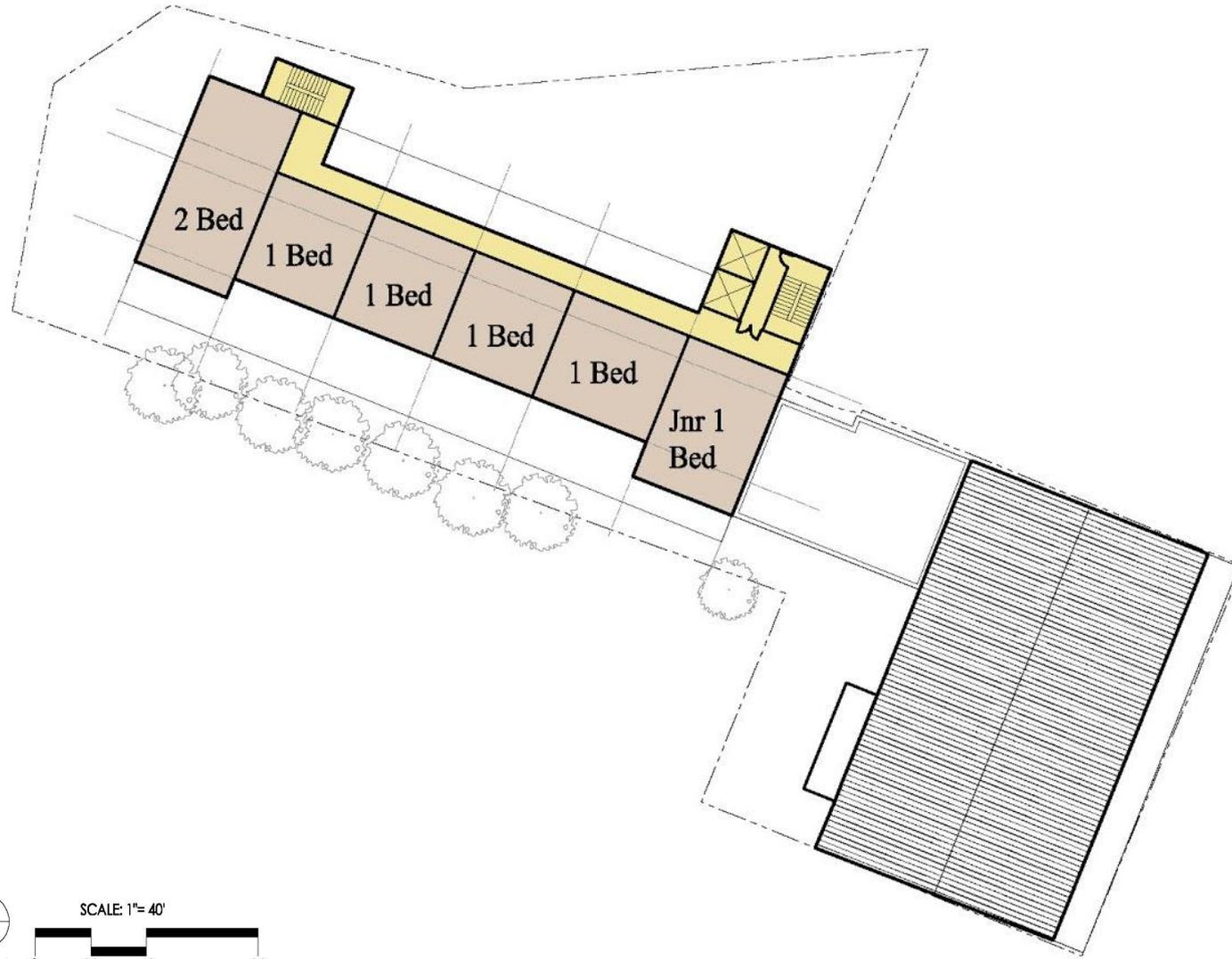
Third Level



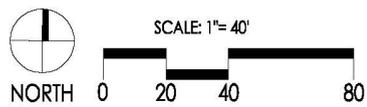
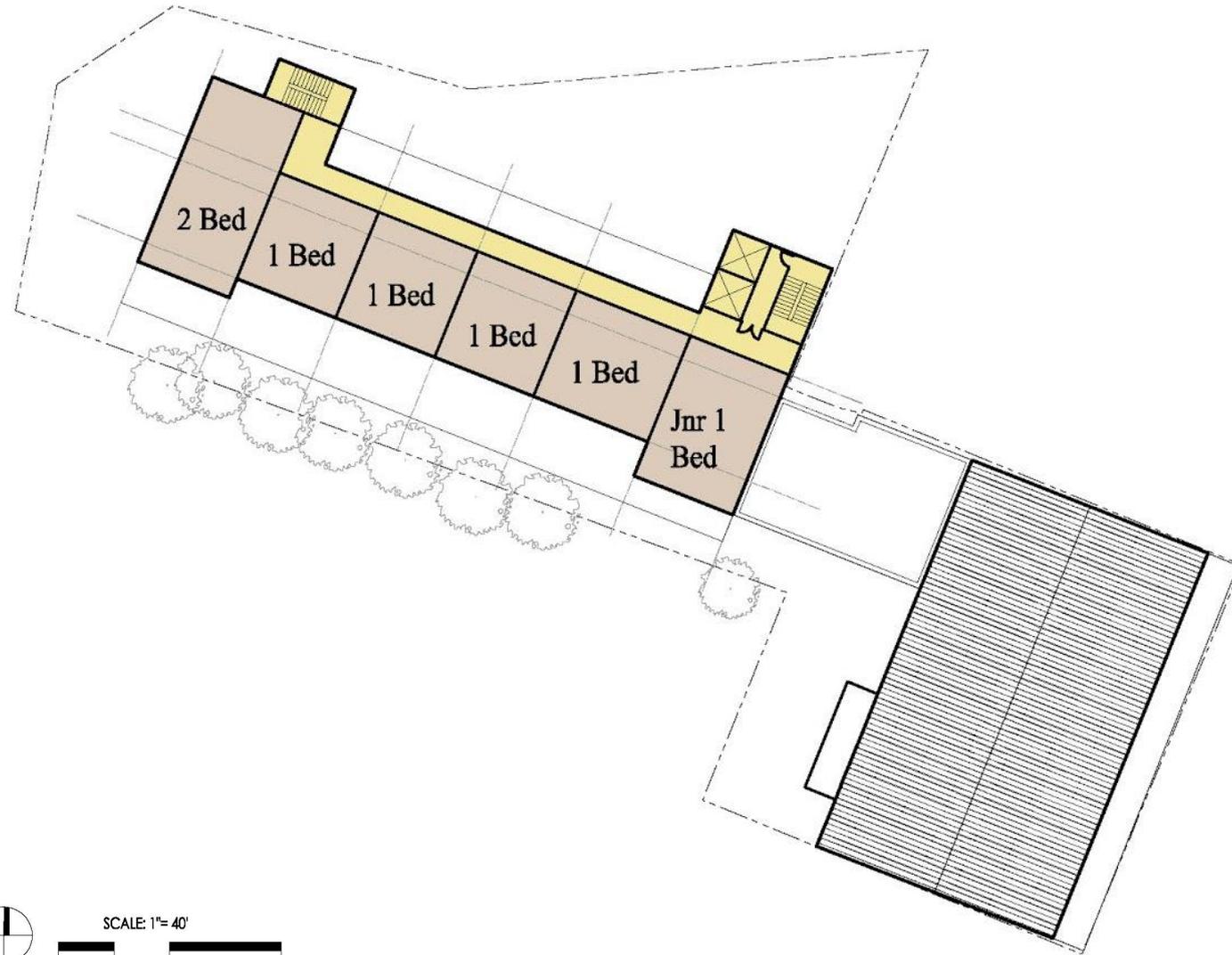
Fourth Level



Fifth Level



Sixth Level



Number of Units

	Street Lot		Back Lot			Total
	1 Bedroom	Duplex	1 Bedroom	Junior 1 Bedroom	2 Bedroom	
6			4	1	1	6
5			4	1	1	6
4			4	1	1	6
3	1	6	5	1	1	14
2	4		5	1	1	11
1	1		5	1	1	8
Total	6	6	27	6	6	51

Building Size

	Garage	Retail	Town Hall	Street Lot Residential	Back Lot Residential	Building Total
6					6,850	6,850
5					6,850	6,850
4				6,350	6,850	13,200
3				8,500	7,375	15,875
2			2,700	5,600	7,375	15,675
1		5,620		2,000	7,375	14,995
G1	10,346					
G2	10,346					
Building Total	0	5,620	2,700	22,450	42,675	73,445
Garage Total	20,692					20,692
Building and Garage Total						94,137

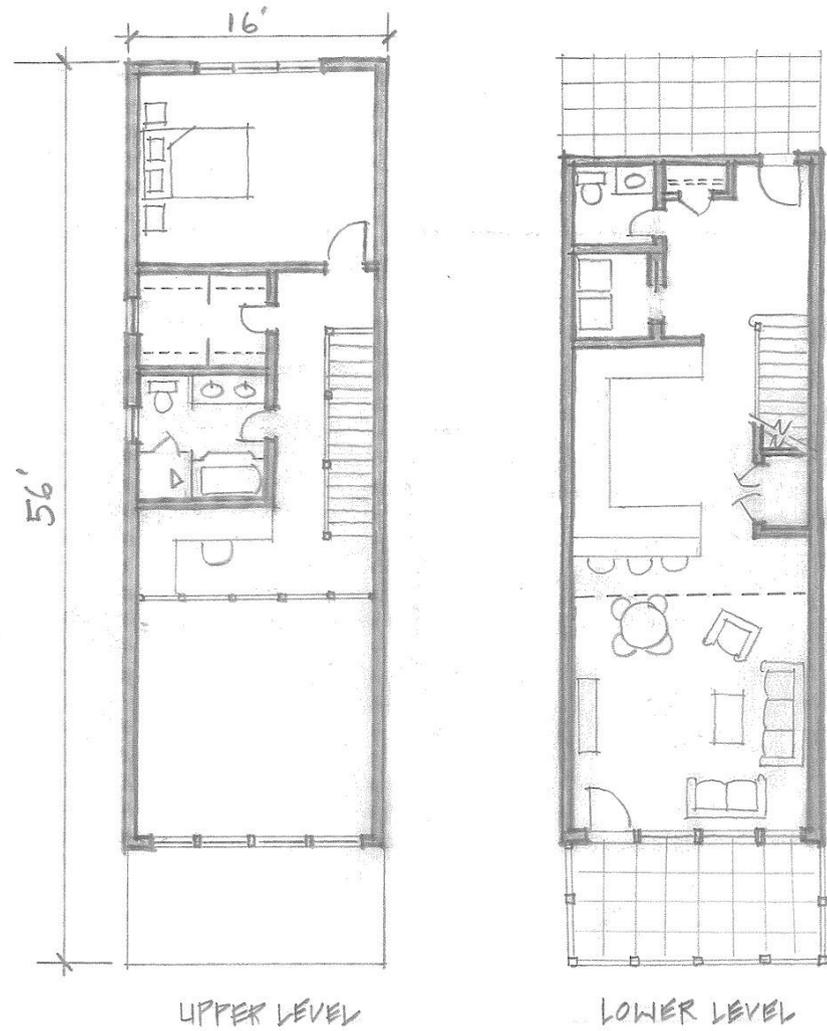


Sustainable Strategies

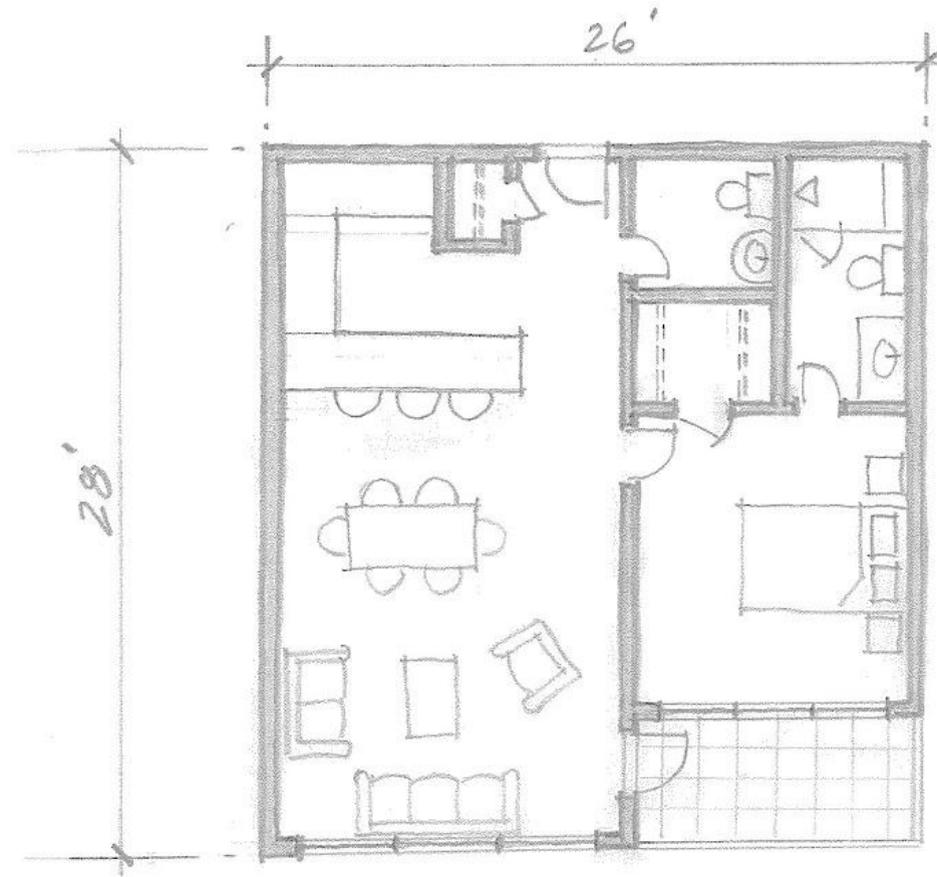
- Adopt passive solar design principles reducing building systems and infrastructure cost before considering active systems.
- Design for thermal mass and thermal storage.
- Design super/efficient building envelope.
- Consider on-site renewable energy (geothermal, solar, wind)
- Design for adaptability of future systems.
- Design for permanence, durability, and ease of maintenance.
- Consider environmental lifecycles of the products specified.
- Minimize layering of finishes.
- Natural ventilation, daylight and occupancy sensor lighting controls.



Unit Plans

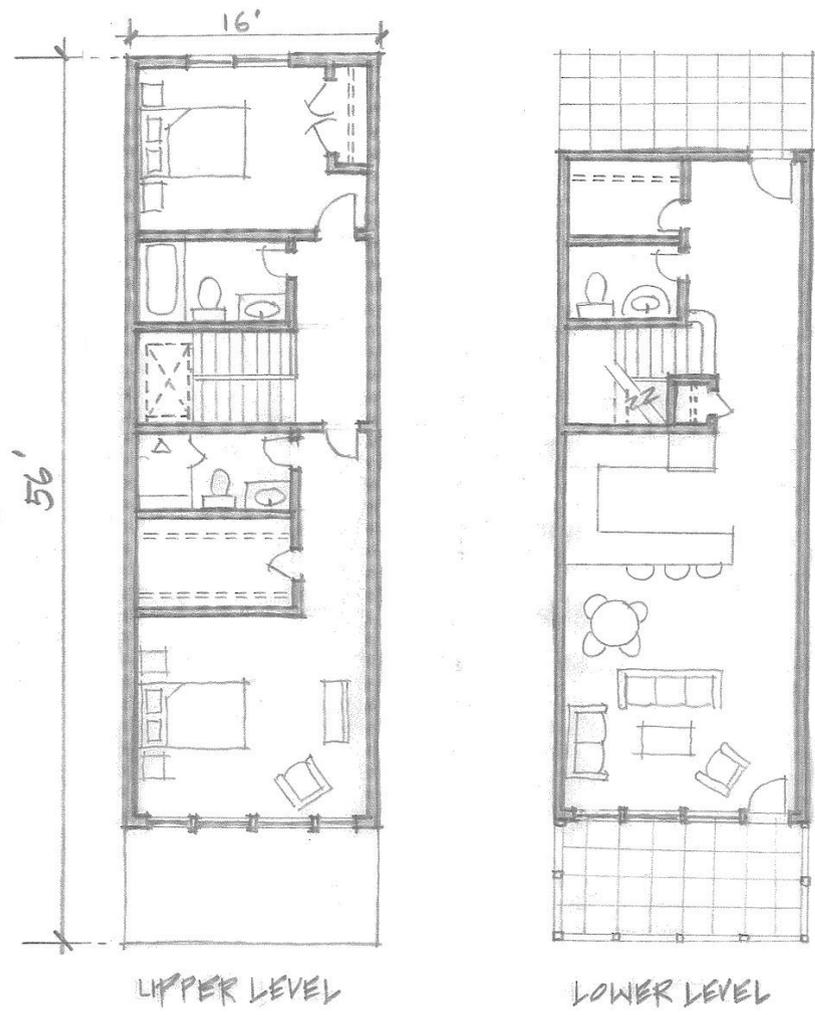


1 Bedroom Duplex (56'x16')

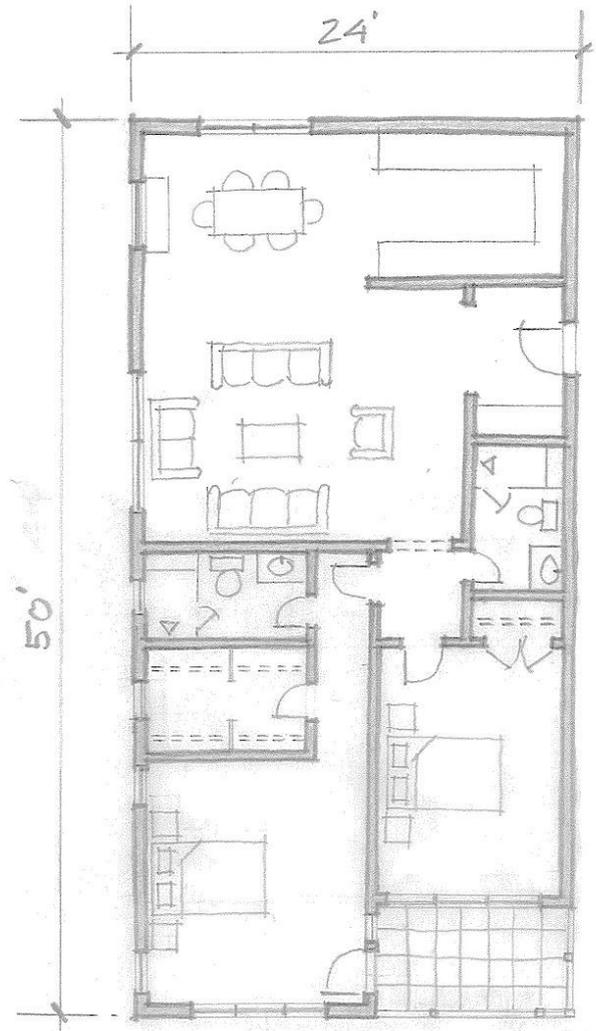


1 Bedroom Flat (28'x26')

Unit Plans



2 Bedroom Duplex (56'x16')



2 Bedroom End (50'x24')

Existing Aerial View



Aerial View with New Building

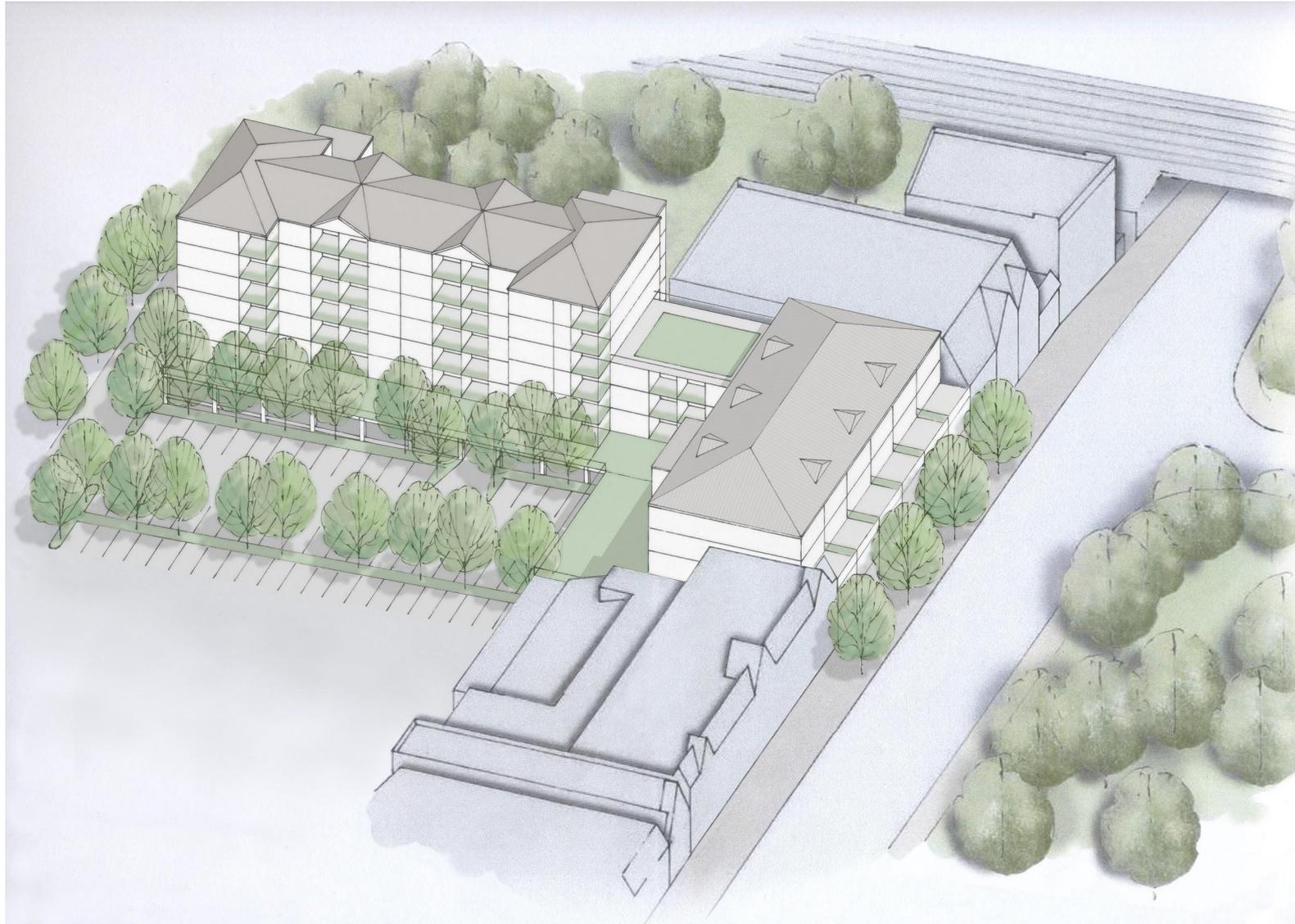


Existing Aerial View



Aerial View with New Building







Designed in response to Pelham's needs: Village of Pelham Comprehensive Plan

Reflects core values of Pelham and makes great strides in attaining goals set forth in plan

- Major themes of Village Comprehensive Plan
 - Maintain Village character
 - Promote economic development downtown
 - Guiding principles
 - Maintain and develop the commercial districts as mixed-use, multi-purpose centers
 - Encourage entrepreneurship
 - Strengthen businesses and business mix to enable the district and the community to compete in the market
 - Recommendations
 - Make the community attractive to businesses
 - Improve the appearance of Pelham's commercial area
 - Encourage a variety of housing types downtown
 - Establish more prominent gateways to the Village
 - Sustain and promote prosperity and unique qualities of Pelham

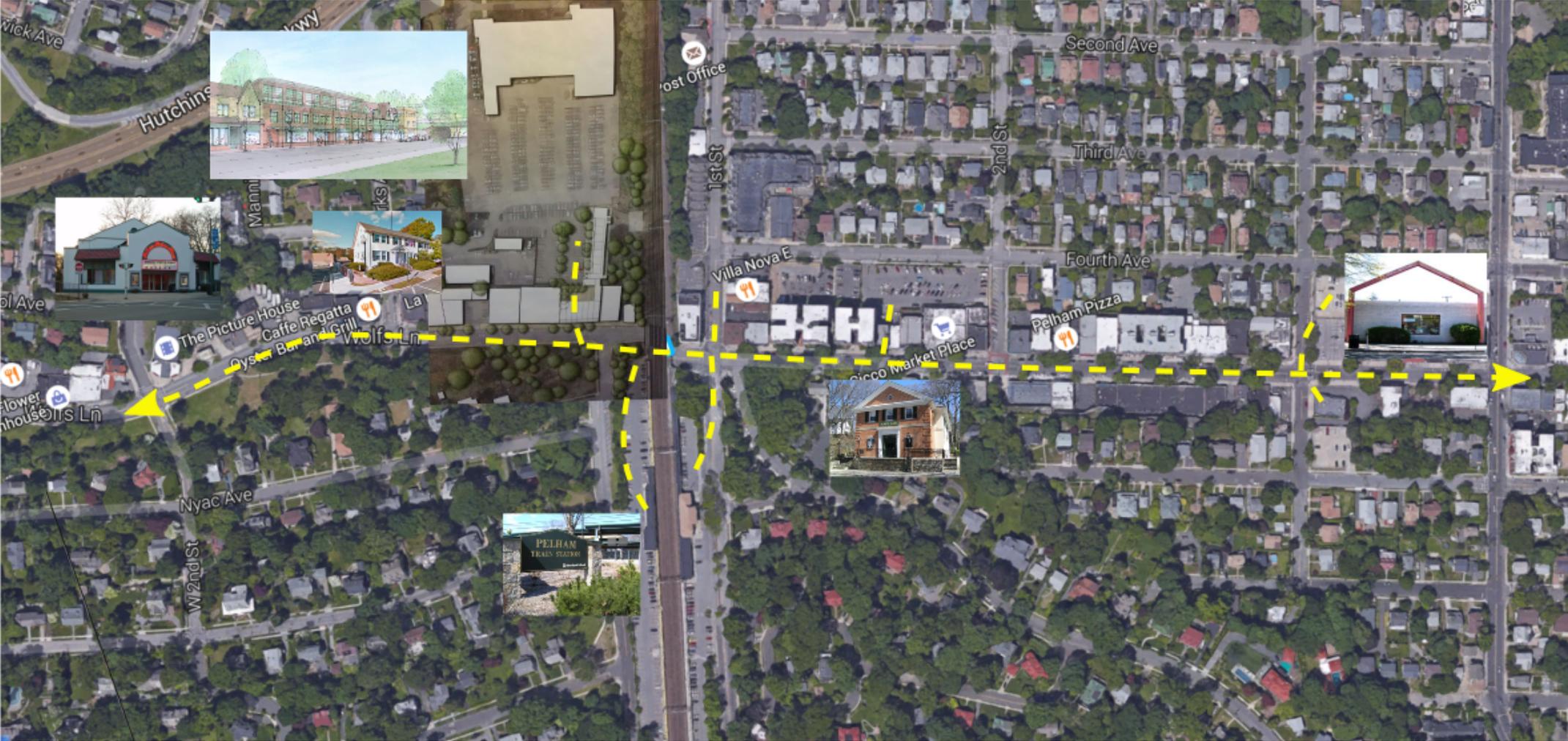
VILLAGE OF PELHAM COMPREHENSIVE PLAN

April 2008



Designed in response to Pelham's needs: Revitalizing downtown with pedestrian activity

Improvements in downtown flow



Designed in response to Pelham's needs: Economic development

Encourages pedestrian activity and fosters a sense of community based on smart growth principles

- Improves place:
 - Improves the appearance of Pelham's commercial area¹
 - Increases downtown economic activity
 - Allows businesses to succeed and stay
 - Attracts new businesses
 - Establishes attractive gateway to Village¹
 - Fills gap in downtown housing stock¹
- Creates value:
 - Increases commercial and residential property values²
 - Net fiscal positive for Village and Pelham schools
- Keeps Pelham Pelham:
 - Maximizes potential of existing Village parking through pedestrian connectivity
 - Preserves and promotes Village character, prosperity and charm
 - Respects zoning code

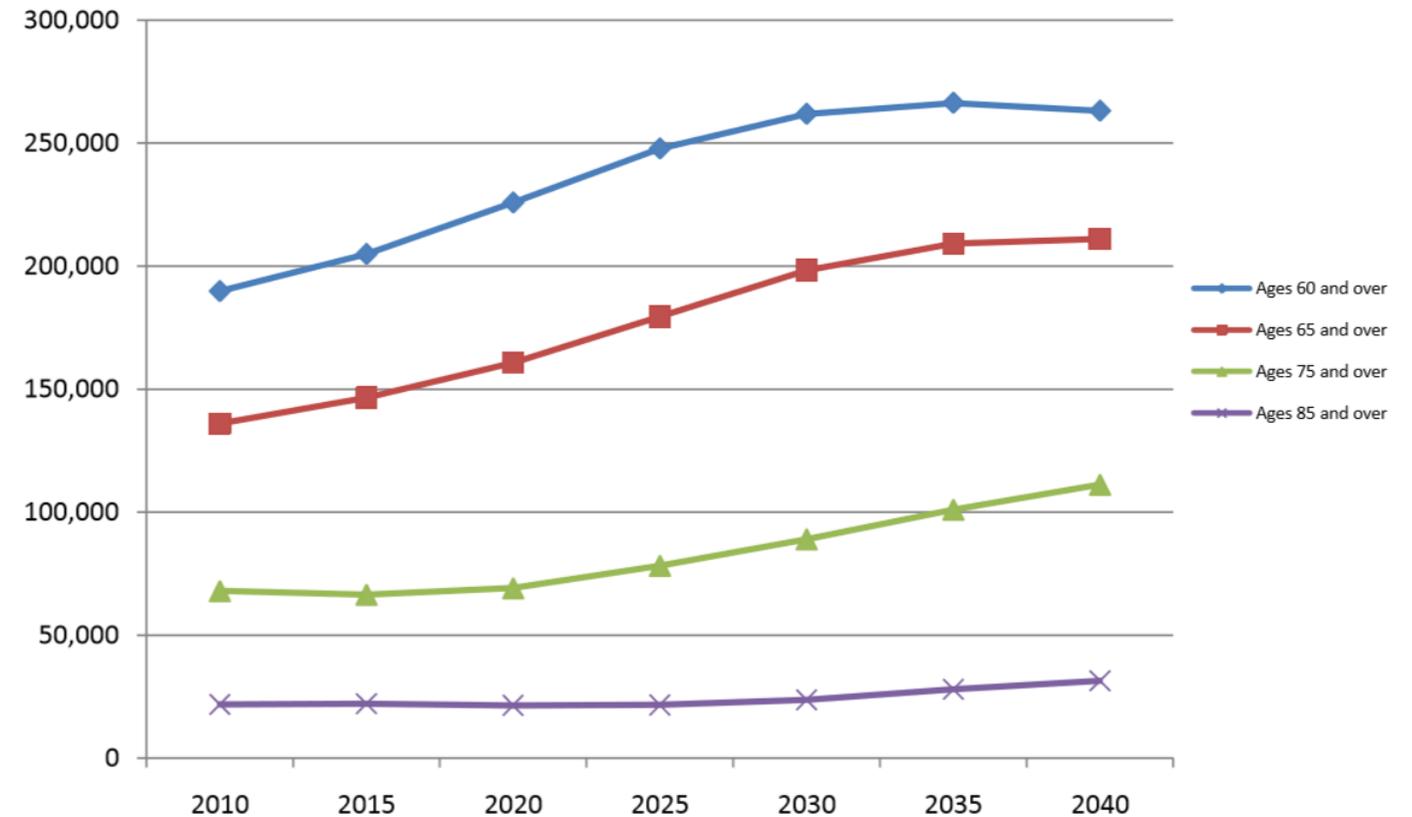


1. Recommendations from Village of Pelham Comprehensive Plan, Saratoga Associates, 2008
2. Effects of Walkability on Property Values & Investment Returns, Responsible Property Investing Center, 2009

Designed in response to Pelham's needs: Fills a hole in outdated housing stock

Based on analysis of successful transit-oriented developments, market rate rentals in Westchester villages, demographics & market research

- Accessibility and flexibility needed in Pelham housing
 - Baby boomers: demand liberating low-maintenance option:
 - 16% of Pelham residents over 60 with unprecedented increase in aging population¹
 - Living downtown enhances feeling of community and lessens isolation that often affects this age cohort²
 - Millennials/Generation Y movement to the suburbs:
 - “Young professionals are potential long-term members of the community and should be encouraged to live and shop in Pelham”³
- Financially feasible, demand for rentals
 - Populations in transition seek flexibility of rentals and prefer transit-oriented option⁴
 - Sustainable and modern:
 - Last rental building in Pelham built during 1920s, major expansion
 - Westchester rental successes:
 - New apartments needed to compete in Westchester



Source: Westchester County Data Book, 2011

1. 2009-2013 American Community Survey, US Census Bureau
2. Priory Pulse Survey Report, Westchester County Livable Communities, 2011
3. Village of Pelham Comprehensive Plan, Saratoga Associates, 2008
4. Who's On Board: 2014 Mobility Attitudes Survey, Transit Center, 2014

Building community and government support

Frequently Asked Questions (FAQs)

- Height and architectural character
 - Height within current zoning and scale:
4 stories, 6 stories 100 feet from curb
 - Design corresponds and enhances downtown look and feel
- Effects on school capacity
 - Impact of Marbury Corners is negligible
 - Net fiscal positive for school system
- Property values
 - Ripple effect of downtown improvement
 - Increases property values
 - Net fiscal positive for Village
- Why mixed-use transit-oriented development with rentals
 - Market demands
- Utilities and services
 - Green building means low impact
 - Comprehensive New York State Environmental Quality Review (SEQR) process



Community and environmental impacts

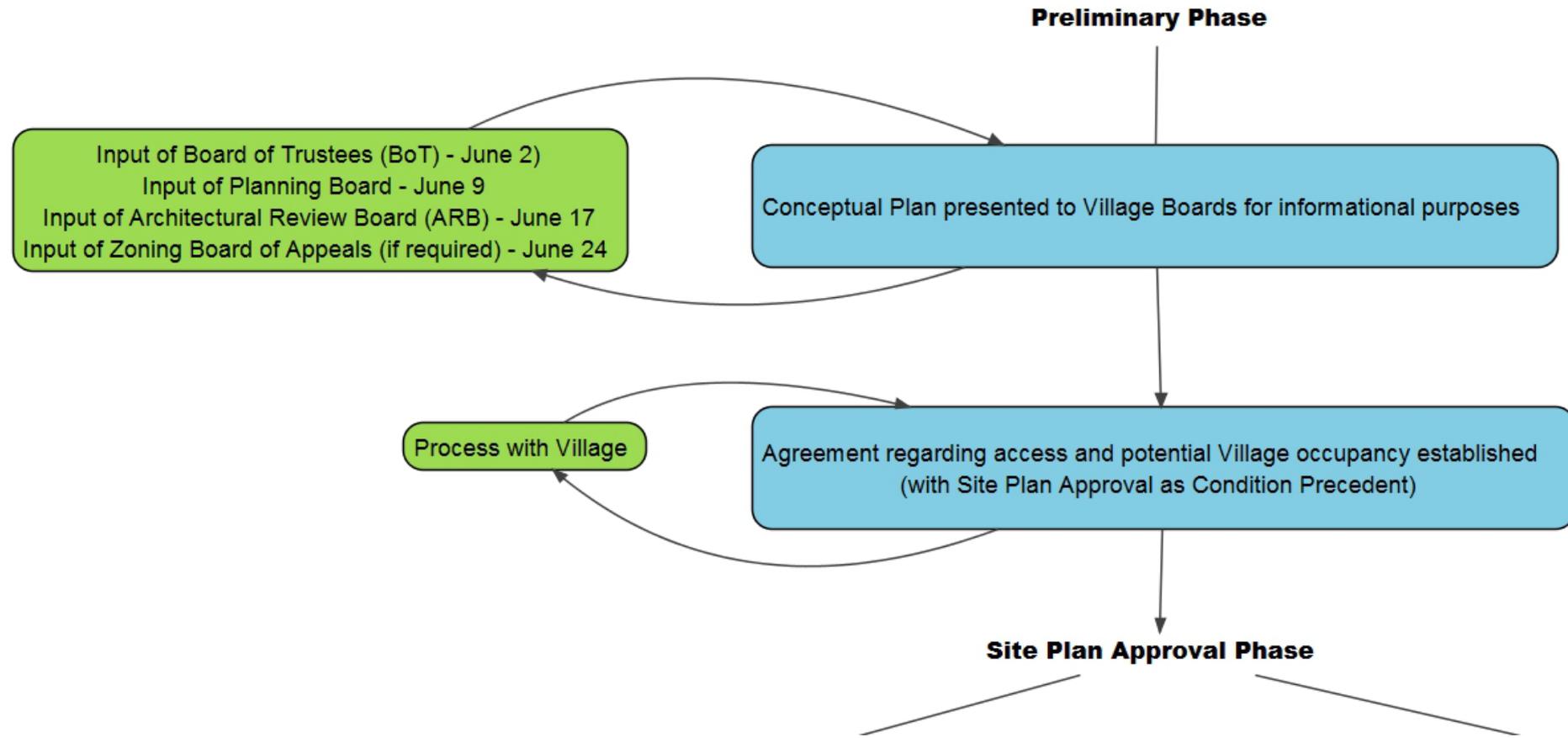
Ensure that change leads to bright social, economic, and environmental future for entire Pelham community

- State Environmental Quality Review (SEQR)
 - Anticipated studies:
 - Land use and zoning compatibility
 - Transportation and traffic
 - Land resources (soils, topography and geology)
 - Visual impacts and community character analysis
 - Environmental site assessment phase 1
 - Historical/archeological resources (if required)
 - Construction impacts
 - Community impacts:
 - School generation rates
 - Tax revenue generation and costs to the Village of Pelham
 - Sanitary sewer system and stormwater analysis
 - Police and fire



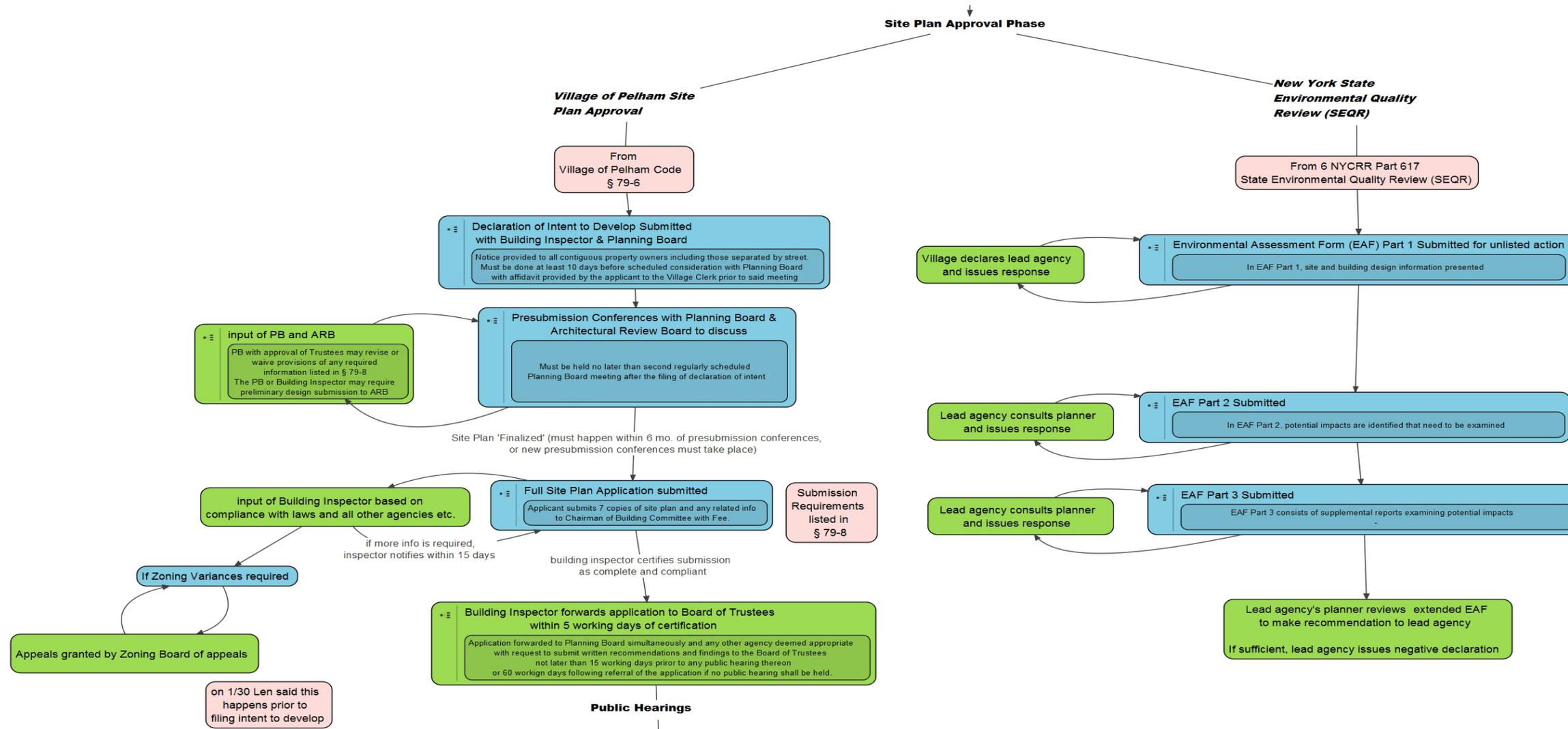
Approval Process (1/3)

Roadmap that incorporates Village of Pelham Code and New York State Environmental Quality Review Act (SEQRA)



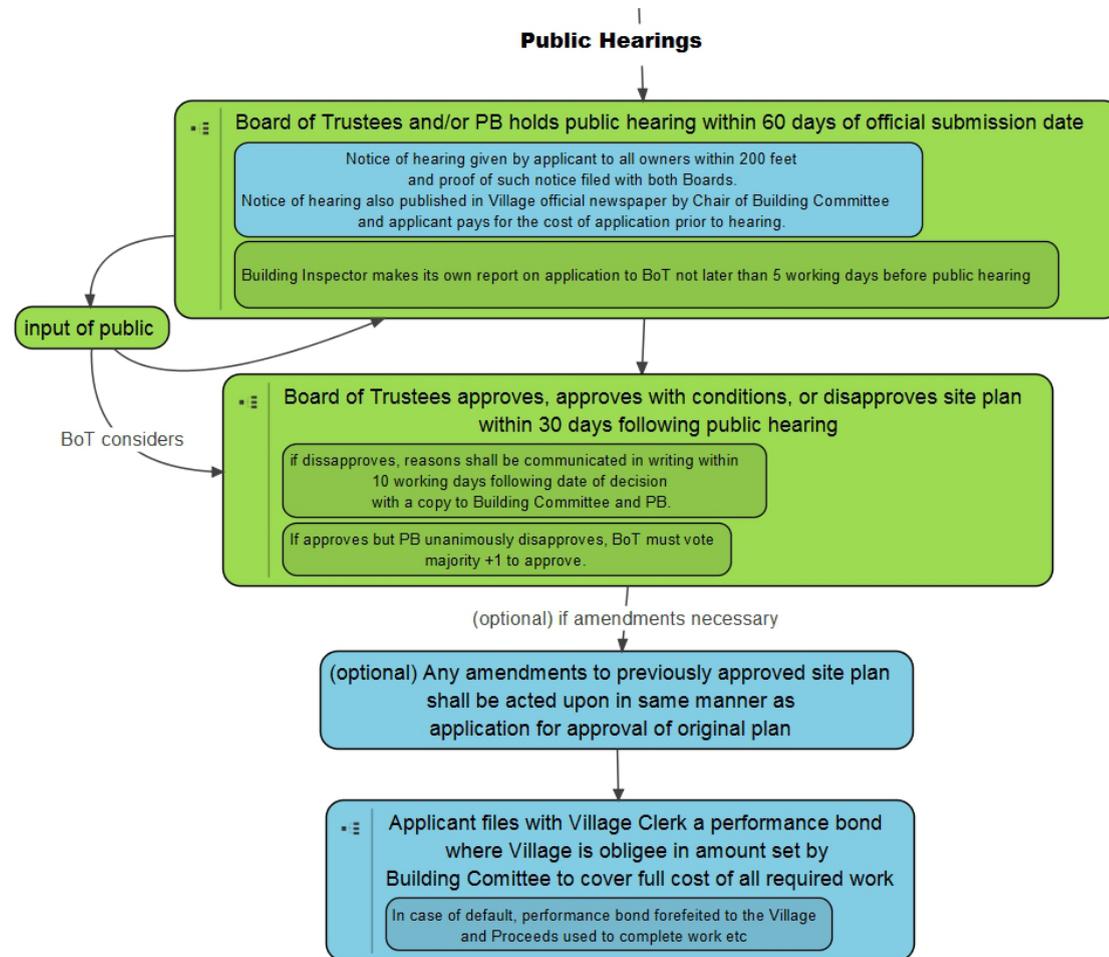
Approval Process (2/3)

Roadmap that incorporates Village of Pelham Code and New York State Environmental Quality Review Act (SEQRA)



Approval Process (3/3)

Roadmap that incorporates Village of Pelham Code and New York State Environmental Quality Review Act (SEQRA)



Before

Need for smart growth, mixed-use, transit-oriented development



After

Mixed-use sustainable transit-oriented development ushers Village into the 'now' while respecting its charm, soul, and values



Thank you

“Downtown Pelham is an ideal location for mixed-use development—in this case, commercial on the ground floor with residential units above—that fosters a sense of community, encourages pedestrian activity, and supports smart growth principles.”

— *Village of Pelham Comprehensive Plan, Saratoga Associates, 2008 (Section 7.3)*

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