



WOLFS LANE PARK SITE IMPROVEMENTS

FOR THE

Village of Pelham

195 Sparks Ave. Pelham, New York



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SEAN JANCOSKI LANDSCAPE ARCHITECTS

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Surveyor
Thomas C. Merritts Land Surveyors, P.C.
394 Bedford Road
Pleasantville, N.Y. 10570
(914)769-8003

Base Information Taken from Topographic Survey Dated July 12, 2016.

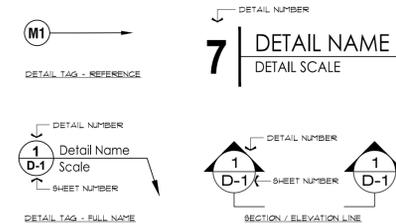
LEGEND, KEY & ABBREVIATIONS

V.I.F.	Verify in Field
V.L.A. VLA	Verify with L.A.
P.C. PC	Pool Contractor
L.C. LC	Landscape Contractor
F.C. FC	Fence Contractor
M.C. MC	Masonry Contractor
D.C. DC	Deck Contractor
B.M. BM	Bench Mark
F.F. FF	Finish Floor
F.F.E. FFE	Finish Floor Elevation
T.R. TR	Top of Rock
B.R. BR	Bottom of Rock
INV. IN	Invert In Elevation
INV. OUT	Invert Out Elevation
T.W. TW	Top of Wall Elevation
B.W. BW	Bottom of Wall Elevation
T.C. TC	Top of Curb Elevation
B.C. BC	Bottom of Curb Elevation
T.S. TS	Top of Step/Stairs Elevation
B.S. BS	Bottom of Step/Stairs Elevation
S.E. SE	Soil Elevation
R.P. RP	Radius Point
R. RAD.	Radius
P.T. PT	Point of Tangency
P.C. PC	Point of Curvature
C.B. CB	Catch Basin
D.I. DI	Drain Inlet
U/W u/w	Underwater
U/G u/g	Underground
+101.5	Proposed Spot Elevation
+ (101.5)	Existing Spot Elevation
	Proposed Contour
	Existing Contour
	Proposed Spot Grades

LIST OF DRAWINGS

- 1 OF 4 TOPOGRAPHY OF PROPERTY PREPARED FOR VILLAGE OF PELHAM (T. MERRITTS)**
- 2 OF 4 TOPOGRAPHY OF PROPERTY PREPARED FOR VILLAGE OF PELHAM (T. MERRITTS)**
- 3 OF 4 TOPOGRAPHY OF PROPERTY PREPARED FOR VILLAGE OF PELHAM (T. MERRITTS)**
- 4 OF 4 TOPOGRAPHY OF PROPERTY PREPARED FOR VILLAGE OF PELHAM (T. MERRITTS)**
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- L-0.A NYAC AVE. WALK DEMOLITION AND REMOVALS PLAN**
- L-0.B VILLAGE GREEN DEMOLITION AND REMOVALS PLAN**
- L-0.C NATIVE GARDEN DEMOLITION AND REMOVALS PLAN**
- L-0.D PICTURE HOUSE PLAZA DEMOLITION AND REMOVALS PLAN**
- L-0.E WOLFS LN. SEATING DEMOLITION AND REMOVALS PLAN**
- L-0.F BOULEVARD ENTRANCE DEMOLITION AND REMOVALS**

- L-1.A NYAC AVE. WALK LAYOUT, MATERIALS AND GRADING PLAN**
- L-1.B VILLAGE GREEN LAYOUT, MATERIALS AND GRADING PLAN**
- L-1.C NATIVE GARDEN LAYOUT, MATERIALS AND GRADING PLAN**
- L-1.D PICTURE HOUSE PLAZA LAYOUT, MATERIALS AND GRADING PLAN**
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- D-1 DESIGN SECTIONS AND ELEVATIONS**
- D-2 DETAILED PLANS**
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- D-5 DETAILS**
- D-6 DETAILS**
- D-7 SITE PREPARATION AND EROSION CONTROL DETAILS**



INSTRUCTIONS AND GENERAL SPECIFICATIONS TO CONTRACTORS

- PROJECT SCOPE:**
This proposal is for landscape development work for the Village of Pelham and is situated at:
**Wolfs Lane Park
Pelham, NY**
- OWNER:**
The Owners referred to in these specifications is the **Village of Pelham**
- LANDSCAPE ARCHITECT:**
The Landscape Architect referred to in these specifications is **Sean Jancoski Landscape Architects**.
- SITE EXAMINATION:**
The contractor, before submitting a bid on the work, is assumed to have visited the site for the purpose of observing firsthand, any conditions relevant to the completion of the work. No considerations will be given on any claim based on lack of knowledge of existing conditions. The Landscape Architect will not be responsible for and will not have control or charge of construction means, methods, techniques, sequences, procedures, or for safety precautions and programs in connection with the work. The Landscape Architect will not be responsible for the Contractor's failure to carry out the work in accordance with the Contract Documents. The Landscape Architect will not be responsible for or have control or charge over the acts or omissions of the Contractor, Subcontractors, or any of their agents or employees, or any other persons performing any of the work.
- DISCREPANCIES:**
All discrepancies shall be brought to the attention of the Landscape Architect during the bidding period.
- AWARD OF CONTRACT:**
The Owner and Landscape Architect will examine the proposals and will notify each successful bidder. All proposals shall include an itemized schedule of payments, which are subject to approval by Owner and Landscape Architect.

GENERAL NOTES TO CONTRACTORS

- CONTRACT DOCUMENTS:**
The contract documents consist of the Agreement, the drawings, the specifications, and all addenda issued prior to the execution of the contract, and all modification thereto.
- DETAIL DRAWINGS AND SPECIFICATIONS CONFLICTS:**
Contractors are to notify Landscape Architect should a conflict occur in or between drawings, specifications, field conditions and construction layout.
- GRADES, LINES, LEVELS, AND SURVEYS:**
Each contractor shall engage a licensed surveyor to establish the lot lines and restrictions as necessary to accomplish their work. The contractors shall provide an "As Built Survey" prepared by a licensed surveyor as required by the local municipality. The finished elevations shall correspond to those indicated on the drawings.
- PROTECTION:**
Each contractor shall at all times, provide protection for his scope of work against rain, wind, storms, frost, or heat so as to maintain all work, materials, apparatus and fixtures free from injury or damage. At the end of a day's work, all new work likely to be damaged, shall be covered and protected. Any work damaged by failure to provide protection as required above, shall be removed and replaced with new work at the contractor's expense.
- MANUFACTURER'S DIRECTIONS:**
All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned as directed by the manufacturer unless herein specified to the contrary.
- WORKMANSHIP:**
Compliance with the drawings and specifications with regard to materials and methods of assembly will, not in itself, assure acceptance of the construction. Of equal importance is good workmanship, the lack of which will be sufficient cause to refuse acceptance of the construction. The Contractor shall at all times enforce discipline and good order among his employees and shall not employ on the work any unfit person or anyone not skilled in the task assigned to him.

7. SCOPE OF WORK:

Contractor shall furnish and install all material and equipment shown, listed or described on the drawings or in these specifications, subject to qualifications, conditions or exceptions as noted. Contractors also, shall furnish all labor, scaffolding, and tools necessary to complete the work. Work shall be continuous and (weather permitting) the Contractor shall have job fully staffed at all times.

8. MEASUREMENTS AND DIMENSIONS:

Prior to ordering any construction materials, Contractor shall verify all dimensions by taking measurements at the building site and shall be responsible for their correctness. Any discrepancies between drawings and/or specifications and existing conditions shall be referred to the Landscape Architect for adjustment before any work affected thereby is begun.

9. LAYING OUT WORK:

All work of every character and description shall be laid out on premises by Contractor, (for his scope of work), who will be held responsible for any errors and for it's correctness. Layout shall then be observed by L.A. prior to commencement of construction.

10. FOREMAN:

Contractor shall have at the building site, from start to finish of construction, a responsible foreman. In addition, contractor shall give his personal supervision to the work. Foreman shall be on duty during all working hours. Any instruction or notices given to him shall have some importance as if given to the contractor in person.

11. TEMPORARY PROVISIONS:

- The Owner shall provide the following temporary provisions:
- Temporary power and light (the contractor shall supply and maintain his own wiring, lamps and connections required for job completion.)
 - Temporary water supply (the contractor shall supply all lines, valves, hoses and similar equipment needed for job completion.)
 - All other provisions shall be the responsibility of the contractor.

12. CONTRACTOR'S INSURANCE:

Contractor shall maintain such insurance as will protect him from claims under Workman's Compensation Acts and other employee benefits from claims for damages to property which may arise out of and during operations under this contract, whether such operations be by himself or by any subcontractors or anyone directly or indirectly employed by either of them. The contractor shall file with the Owner a certificate for property damage insurance in the limits of \$500,000. for each accident and \$1,000,000. for the aggregate of operation. The contractor shall also obtain any additional insurance required by the State of New York and the Village of Pelham.

13. SPECIAL CONDITIONS:

- Any shop drawings required shall be submitted to the Landscape Architect with an original and three copies.
- Samples shall be submitted in sufficient size to represent the product properly.
- All contractors involved in excavation, demolition, drilling, blasting, and/or other work involving disturbance of existing grade shall first contact Call Before You Dig Customer Service/Underground Utilities Call Center at: 811 before undertaking such work. The responsibility for making this call rests entirely with the contractor or sub-contractor involved in such work.

14. PERMITS:

Each contractor shall secure all permits as may be required before commencing his scope of work, post all bonds and pay all fees necessary to complete the work.

15. CODES:

All work shall be performed in accordance with the building code requirements of the State of New York and the Village of Pelham.

Landscape Architect

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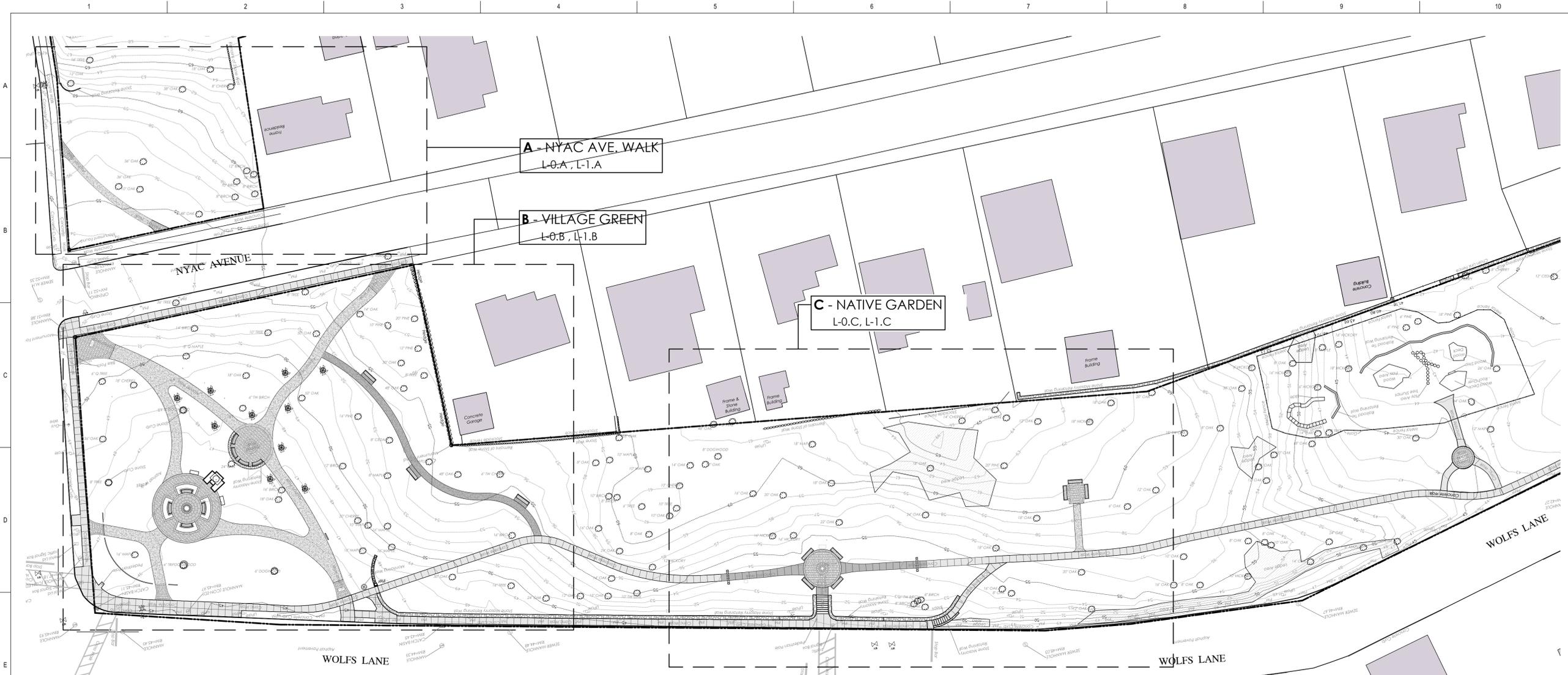
No.	Date	Revision Information
1	8/16/16	Issued for Bidding

**Titlesheet
and
General Specifications**

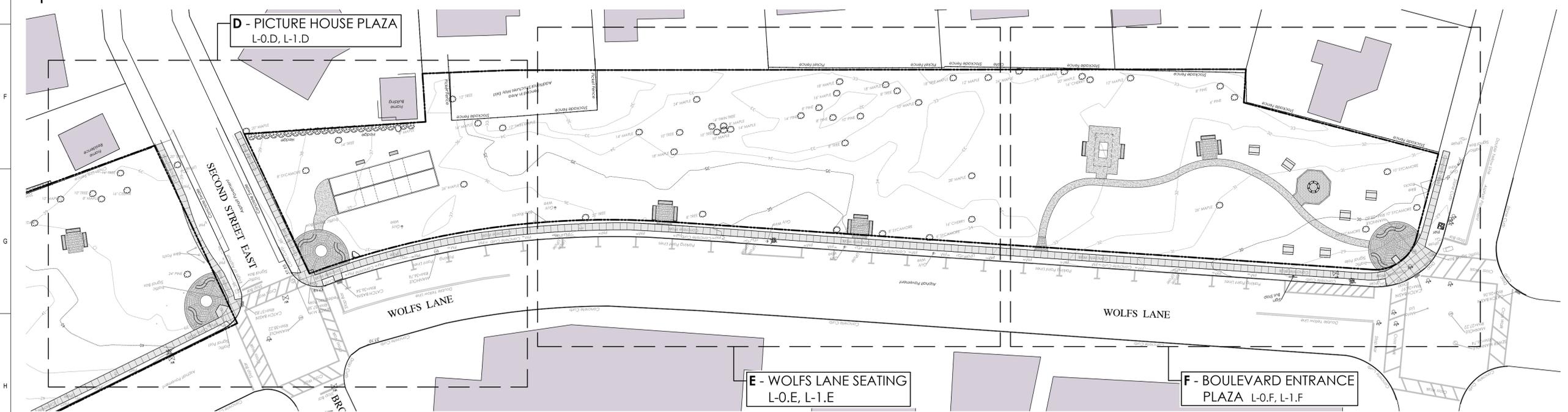
for
**Wolfs Lane Park
Pelham, NY 10803**

Drawn By: **OV**

T-1



1 Wolfs Lane Park North
Scale 1" = 30'-0"



2 Wolfs Lane Park South
Scale 1" = 30'-0"

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(914) 769-8003

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Dated July 12, 2016

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No.	Date	Revision Information
1	8/16/16	Issued for Bidding

Overall Site Plan
Project Areas (A-F)

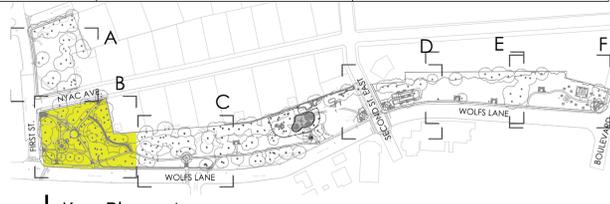
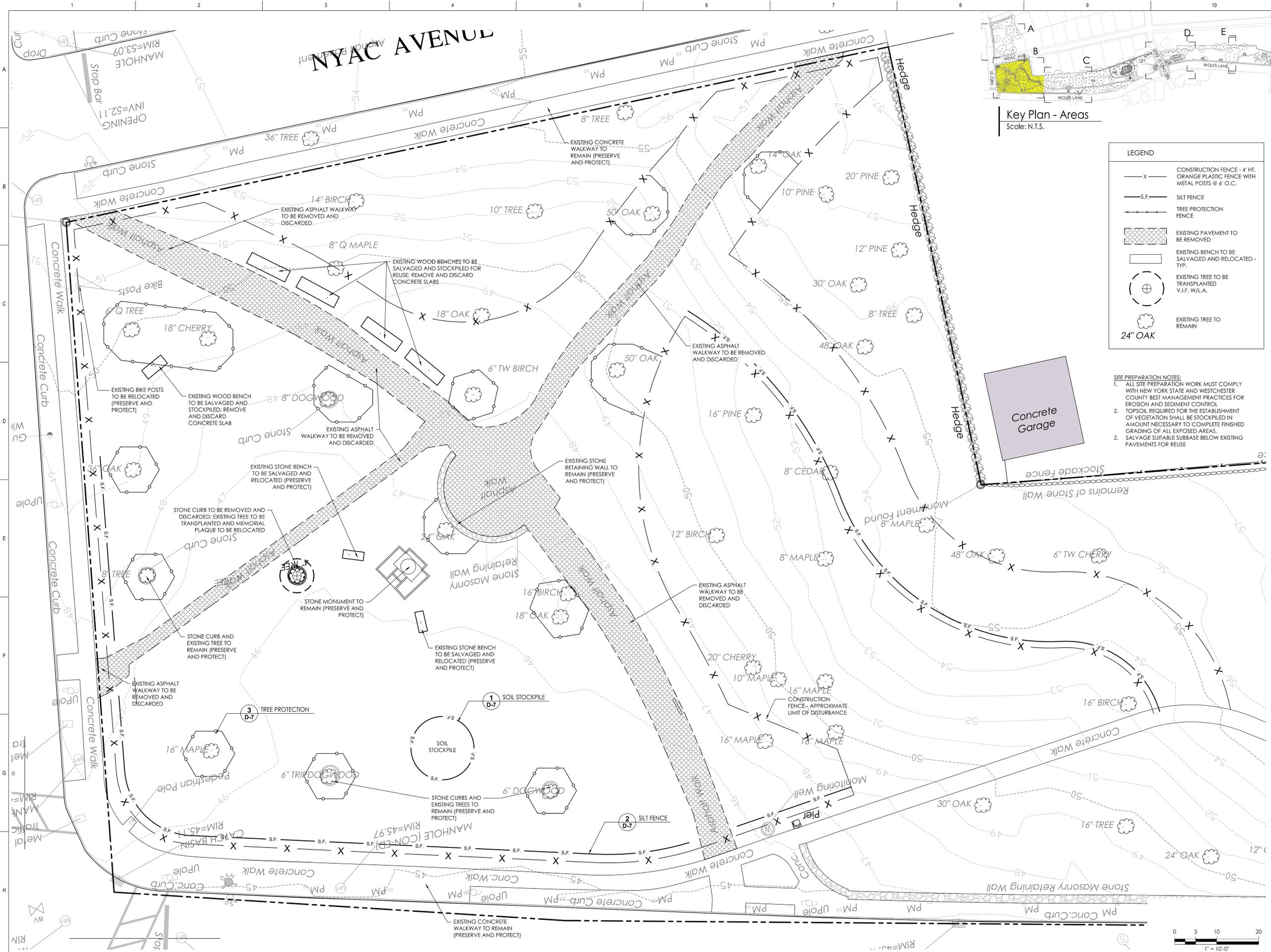
for
Wolfs Lane Park
Wolfs Lane
Pelham, NY 10803

Drawn By: JA.OV



Scale: As Noted Date: August 16, 2016

NOT FOR CONSTRUCTION



LEGEND

- X CONSTRUCTION FENCE - 4' HT. ORANGE PLASTIC FENCE WITH METAL POSTS @ 6' O.C.
- S.F. SILT FENCE
- TREE PROTECTION FENCE
- [Hatched Box] EXISTING PAVEMENT TO BE REMOVED
- [Dashed Box] EXISTING BENCH TO BE SALVAGED AND RELOCATED - TYP.
- (+ in circle) EXISTING TREE TO BE TRANSPLANTED V.I.F. W/L.A.
- (+ in cloud) EXISTING TREE TO REMAIN

24" OAK

- SITE PREPARATION NOTES:**
- ALL SITE PREPARATION WORK MUST COMPLY WITH NEW YORK STATE AND WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL
 - TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
 - SALVAGE SUITABLE SUBBASE BELOW EXISTING PAVEMENTS FOR REUSE

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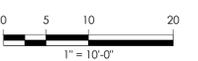
**Village Green (Area B)
Demolition and Removals Plan**

for
**Wolfs Lane Park
Wolfs Lane
Pelham, NY 10803**

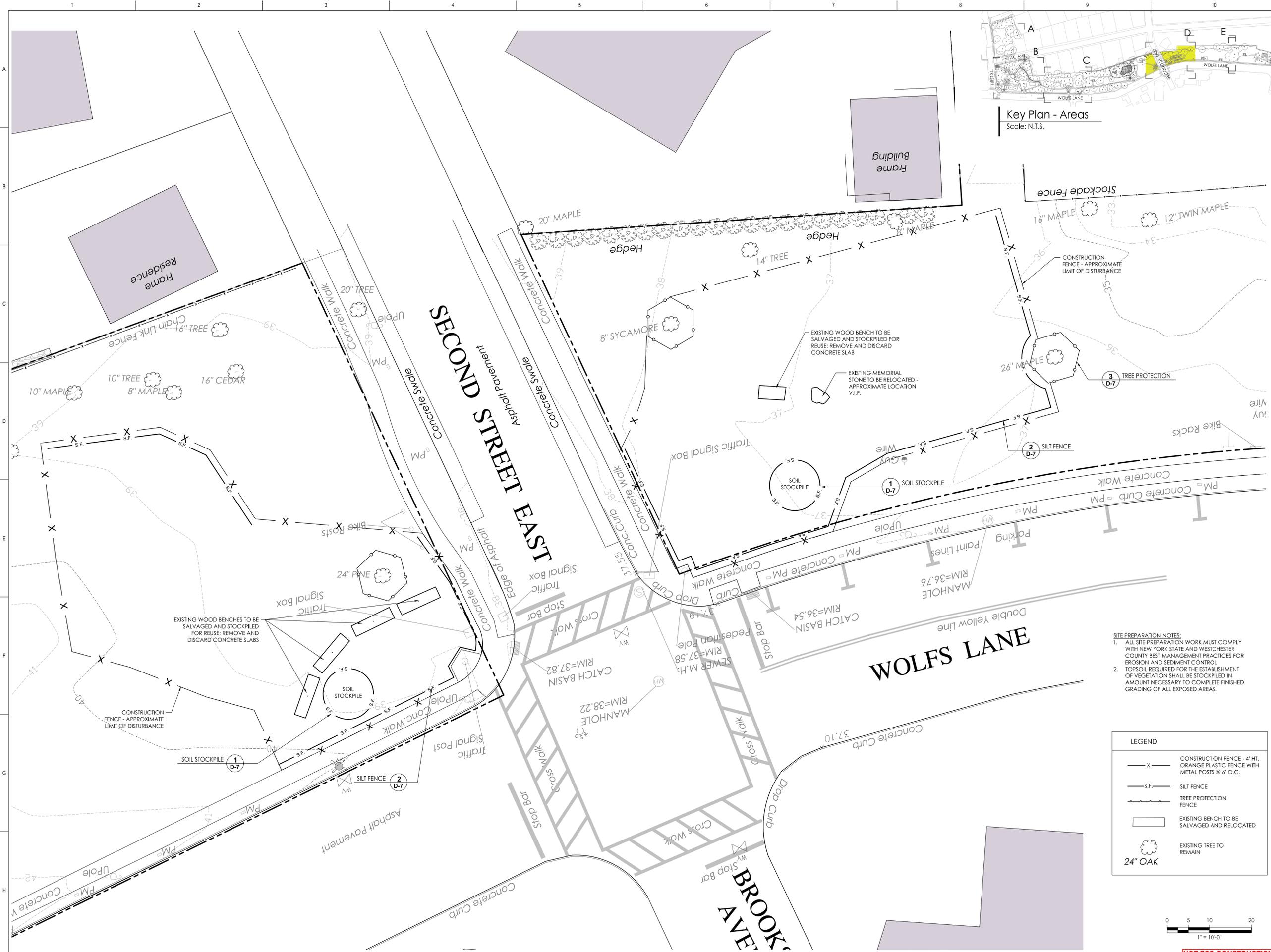
Drawn By: JA

L-0.B

Scale: 1" = 10'-0" Date: August 16, 2016



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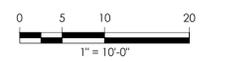
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LEGEND

- X- CONSTRUCTION FENCE - 4' HT. ORANGE PLASTIC FENCE WITH METAL POSTS @ 6' O.C.
- S.F.- SILT FENCE
- - - TREE PROTECTION FENCE
- [] EXISTING BENCH TO BE SALVAGED AND RELOCATED
- [] EXISTING TREE TO REMAIN
- 24" OAK



Landscape Architect

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**Picture House Plaza (Area D)
Demolition and Removals Plan**

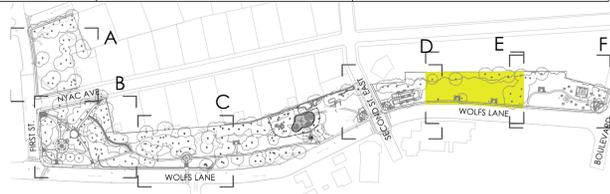
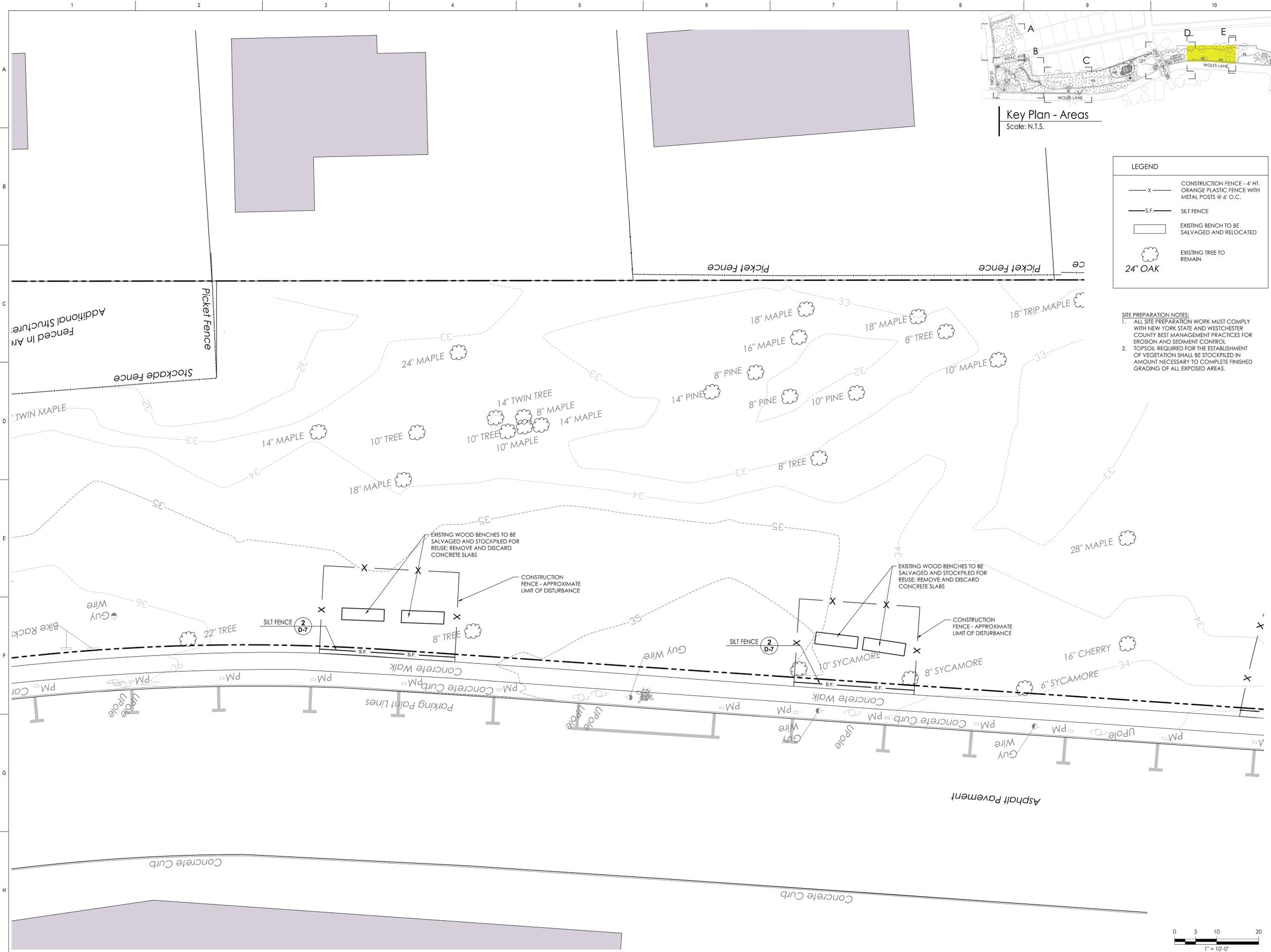
for
**Wolfs Lane Park
Wolfs Lane
Pelham, NY 10803**

Drawn By: **JA, OV**

L-O.D

Scale: 1" = 10'-0" Date: August 16, 2016

NOT FOR CONSTRUCTION



Key Plan - Areas
Scale: N.T.S.

LEGEND

- CONSTRUCTION FENCE - 4' HT. ORANGE PLASTIC FENCE WITH METAL POSTS @ 6' O.C.
- S.F. SILT FENCE
- EXISTING BENCH TO BE SALVAGED AND RELOCATED
- EXISTING TREE TO REMAIN
- 24" OAK

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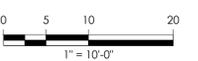
**Wolfs Ln. Seating (Area E)
Demolition and Removals Plan**

for
**Wolfs Lane Park
Wolfs Lane
Pelham, NY 10803**

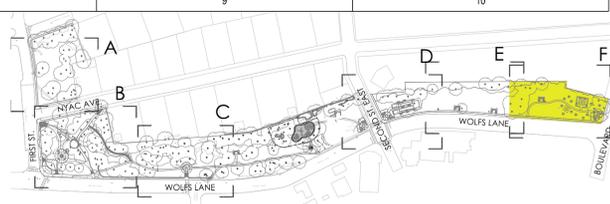
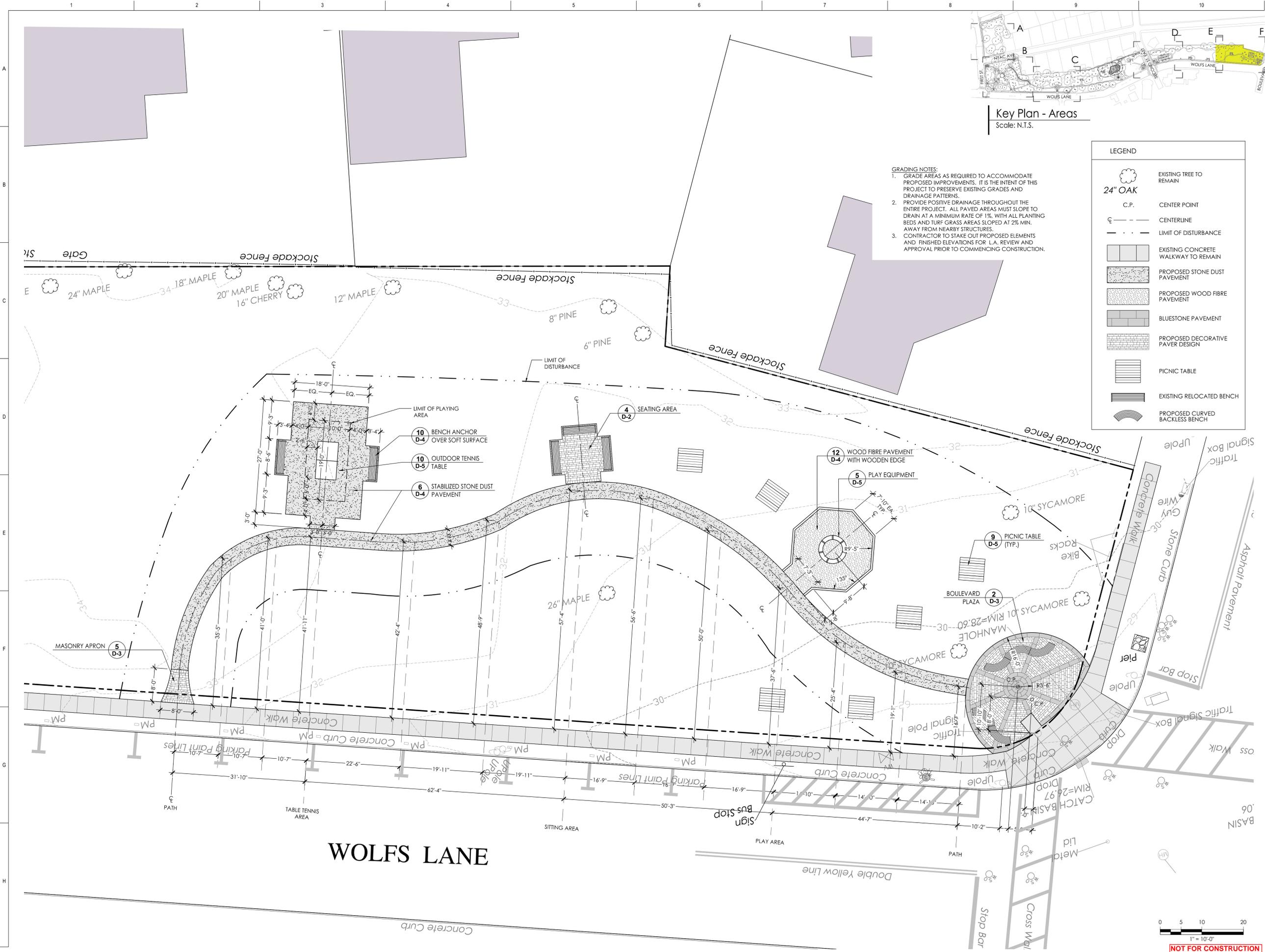
Drawn By: JA



Scale: 1" = 10'-0" Date: August 16, 2016



NOT FOR CONSTRUCTION



Key Plan - Areas
Scale: N.T.S.

- GRADING NOTES:**
1. GRADE AREAS AS REQUIRED TO ACCOMMODATE PROPOSED IMPROVEMENTS. IT IS THE INTENT OF THIS PROJECT TO PRESERVE EXISTING GRADES AND DRAINAGE PATTERNS.
 2. PROVIDE POSITIVE DRAINAGE THROUGHOUT THE ENTIRE PROJECT. ALL PAVED AREAS MUST SLOPE TO DRAIN AT A MINIMUM RATE OF 1%, WITH ALL PLANTING BEDS AND TURF GRASS AREAS SLOPED AT 2% MIN. AWAY FROM NEARBY STRUCTURES.
 3. CONTRACTOR TO STAKE OUT PROPOSED ELEMENTS AND FINISHED ELEVATIONS FOR L.A. REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.

LEGEND

- EXISTING TREE TO REMAIN
- 24" OAK
- C.P. CENTER POINT
- CENTERLINE
- LIMIT OF DISTURBANCE
- EXISTING CONCRETE WALKWAY TO REMAIN
- PROPOSED STONE DUST PAVEMENT
- PROPOSED WOOD FIBRE PAVEMENT
- BLUESTONE PAVEMENT
- PROPOSED DECORATIVE PAVER DESIGN
- PICNIC TABLE
- EXISTING RELOCATED BENCH
- PROPOSED CURVED BACKLESS BENCH

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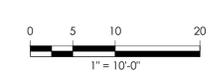
Boulevard Entrance (Area F)
Layout, Materials and Grading Plan

for
Wolfs Lane Park
Wolfs Lane
Pelham, NY 10803

Drawn By: JA, OV

L-1.F

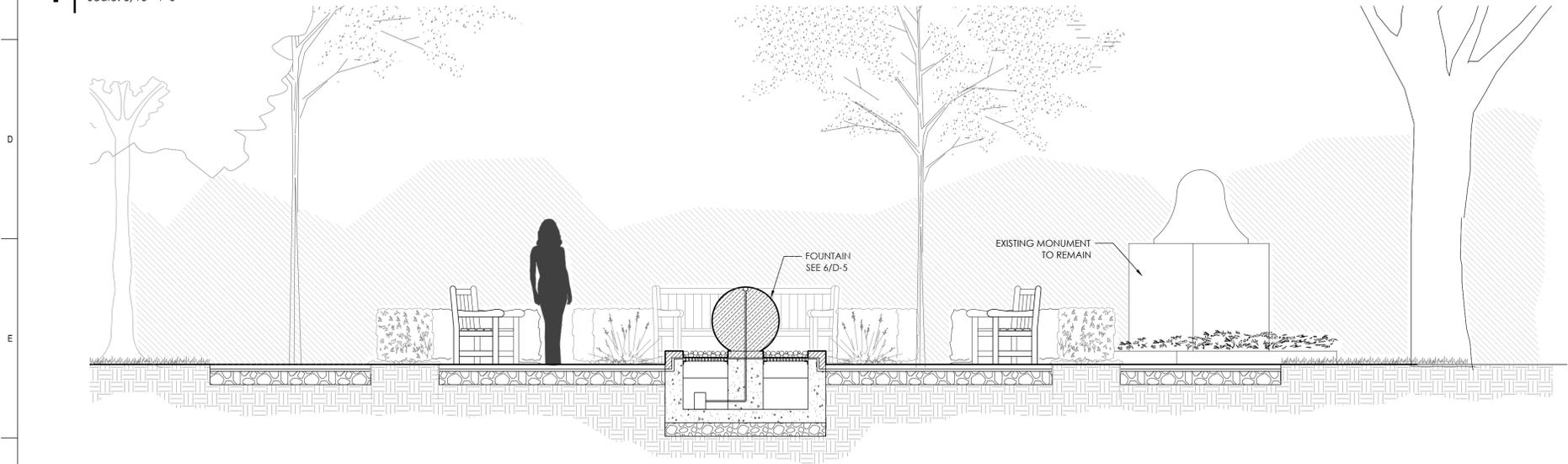
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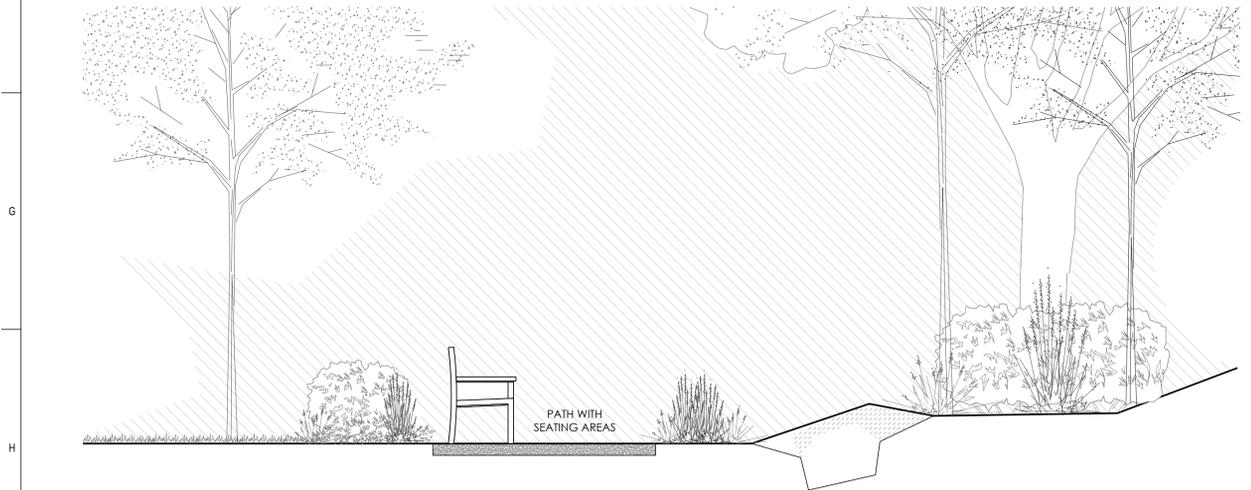
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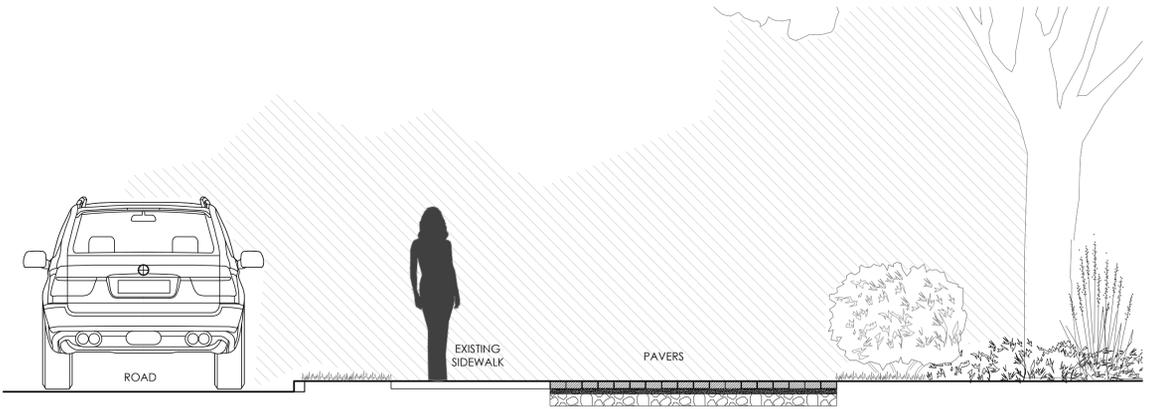
1 PARK ENTRANCE SIGN - ELEVATION
Scale: 3/16"=1'-0"



2 VILLAGE GREEN PLAZA - SECTION
Scale: 3/8"=1'-0"



3 WOODLAND PATH - SECTION
Scale: 3/8"=1'-0"



4 PARK ENTRANCE PAVEMENT- SECTION
Scale: 3/8"=1'-0"

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Design Sections and Elevations
for
Wolfs Lane Park
Wolfs Lane
Pelham, NY 10803

Drawn By: JM, OV

D-1

NOT FOR CONSTRUCTION

