

**VILLAGE OF PELHAM
WESTCHESTER COUNTY, NEW YORK**

Contract # 2016-02
Wolfs Lane Park Site Improvements

Request for Proposals

Bid Deadline: 10:00 a.m., Thursday, October 13, 2016



Proposals are due to:

Robert A. Yamuder, Village Administrator
Village Hall
195 Sparks Avenue
Pelham, NY 10803

Phone: 914-738-2015/Fax 914-738-7381
E-Mail: robert.yamuder@pelhamgov.com

Village of Pelham, NY
Contract # 2016-02 – Wolfs Lane Park Site Improvements

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Section A:
NOTICE TO BIDDERS
REQUEST FOR SEALED BIDS

CONTRACT # 2016-02: WOLFS LANE PARK SITE IMPROVEMENTS

VILLAGE OF PELHAM
WESTCHESTER COUNTY, NEW YORK

A request for sealed Bids is made for the following work:
Contract # 2016-02 – Wolfs Lane Park Site Improvements

Bids will be received at the Village Administrator's Office, 195 Sparks Avenue, Pelham, NY until 10:00 a.m. E.S.T. on Thursday, October 13, 2016, when bids will be publicly opened and read. No proposals will be accepted after the deadline.

All work must be completed by December 31, 2016. A copy of the contract documents may be obtained at the Office of the Village Administrator, on or after Monday, September 26, 2016.

Bids shall be accepted only on the complete proposal package from the Village. Proposals shall be enclosed in a sealed envelope bearing the name and address of the Bidder, addressed to the Village of Pelham, 195 Sparks Avenue, Pelham, NY, 10803, and endorsed, "Contract # 2016-02 – Wolfs Lane Park Site Improvements".

An optional pre-bid meeting will be held on-site in Wolfs Lane Park on the Southeast Corner of Wolfs Lane and First Street on Friday, September 30, 2016 at 10:00 a.m.

A bid bond of five percent (5%) of the amount bid is required as a condition of this proposal.

The Village of Pelham reserves the right to reject any and all Items bid, to waive any informality in any Bid, and to award the Contract to other than the lowest Bidder if deemed in the best interest of the Village to do so.

Contract Documents may be examined at the Office of the Village Administrator at Village Hall, 195 Sparks Avenue, Pelham, New York 10803, on or after Monday, September 26, 2016. Contract documents are available at no charge electronically at www.pelhamgov.com or by sending a request via email to Robert Yamuder at Robert.Yamuder@Pelhamgov.com.

All technical questions should be directed to Sean Jancski ASLA LEED-AP, Landscape Architect at (914) 967-1904.

Publication Date: Monday, September 26, 2016
Village of Pelham, New York
Terri Rouke, Village Clerk

**Section B:
Instructions to Bidders**

1. Documents:

Complete sets of Bidding Documents will be issued for bidding purposes as stated in the Notice to Bidders. A complete set of documents consists of the following:

1. A bound copy of these specifications and requirements;
2. Plans; and
3. Addenda (if any).

Bidder is responsible for examining the site(s) and familiarizing him/herself with the conditions of the work locations prior to the submission of a bid.

An optional pre-bid meeting will be held on-site in Wolfs Lane Park on the Southeast Corner of Wolfs Lane and First Street on Friday, September 30, 2016 at 10:00 a.m.

2. Proposals:

To be considered, Proposals must comply with these Instructions to Bidders. All bids must be submitted on the enclosed Bid Documents, such forms as are set forth in Section D. All blank spaces for bid prices must be completed in words and in figures either typed or written in ink.

Proposals that contain omissions, erasures, alterations, additions, or items not called for in the itemized proposal, or irregularities of any kind, may constitute adequate cause to reject the bid(s). All bids must be submitted in sealed envelopes addressed as follows:

Attention: Village of Pelham
195 Sparks Avenue
Pelham, New York, 10803
Contract # 2016-02 Wolfs Lane Park Site Improvements

Each Bid must include Bidder's name and address, be signed with the name typed or printed below the signature, and Corporate Seal (if applicable) affixed under the Bidder's name. Bids telephoned or faxed in will not be accepted. Separate sets of proposal sheets will not be issued.

3. Qualifications of Bidders:

The Village of Pelham may make such investigations as it deems necessary to determine the qualifications of the Bidder to perform the work, and the Bidder shall furnish information and data for this purpose as may be required. The Village reserves the right to reject any bid if the evidence submitted by a Bidder or the investigation of such Bidder fails to satisfy the Village that such Bidder is properly qualified to carry out the obligations of the Contract and to complete the work contemplated therein within the time frame designated.

Fraudulent statements shall cause rejection of Proposal(s) and forfeiture of the related bid security.

4. Conditions of Work:

Each Bidder must inform themselves fully of all conditions under which the work will be performed. Failure to do so will not relieve a successful Bidder of his obligation to furnish all material and labor necessary to carry out the provisions of the Contract and to complete the work for the consideration set forth in his bid. Bidder's attention is directed to Paragraph 1 of Section C – Declarations of the Bid Proposal, in which the Bidder certifies that he has examined the site.

Bid shall include the complete costs of furnishing all materials, labor and equipment necessary to complete the work in accordance with the Plans, Contract Specifications and Requirements and all other expenses incidental thereto. Local and State sales taxes shall not be included in this bid, since the Village of Pelham is a tax exempt entity.

5. Progress of Work:

As far as possible, the Contractor in the carrying out of his work must employ such methods or means as will not cause any interruption of or interference with the work of any other Contractor, or of the proper functioning of the existing facilities of adjacent or contingent properties, and shall be maintained insofar as possible.

6. Addenda and Interpretation:

Every request for information or interpretation of Bidding Documents and/or Specifications and Requirements must be addressed in email to Robert Yamuder, Village Administrator at robert.yamuder@pelhamgov.com and to be given any consideration must be received via email by 5:00 p.m. on Monday, October 10, 2016. Any and all such interpretations, and any supplemental instructions, will be in the form of an email Addenda and will be emailed or faxed to all prospective Bidders. The failure of any Bidder to receive any such Addenda will not relieve the Bidder of any obligation under his Bid as submitted. Any Addenda so issued shall become part of the Bidding Documents. Reception of Addenda shall be noted on the Bid Form.

7. Insurance Required:

The successful Bidder will be required to procure and pay for the following types of insurance, in accordance with the provisions listed in Section H.

- a. Worker's Compensation;
- b. General Liability;
- c. Automotive -- (each Vehicle insured for Public Liability and Property Damage);
- d. Owners and Contractor's Protective Liability;
- e. Property Damage; and
- f. Unemployment Insurance.

A Hold Harmless Agreement is also attached hereto and made a part of this contract.

8. Bid Security

Each bid must be accompanied by a certified check, cashier's check, or bid bond in the amount of five percent (5%) of the total bid. Certified or cashier's checks shall be made payable to the Village of Pelham, New York. Bid Bonds must be issued by an approved

bonding or insurance company, authorized to do business within the State of New York. Cash is not acceptable.

All bid deposits, whether check or bond, shall be held by the Village of Pelham, New York, as security that the person or person's to whom the contract shall be awarded will enter into a contract thereof and give security for the performance thereof within ten (10) business days after notice of such award. Such bid deposit must be enclosed in the sealed envelope containing the bid.

Bid deposits will be returned to all except the three (3) lowest bidders within four (4) business days after the formal opening of the bid. The bid deposits will be returned to the three (3) lowest bidders within three (3) business days after the Village, and the accepted bidder, have executed the contract, or, if no contract has been so executed, within forty-five (45) days after the opening of the bids, upon demand of the bidder at any time thereafter so long as he has not been notified of the acceptance of his bid.

If the bidder to whom the contract shall have been awarded shall refuse or neglect to execute and deliver the same and furnish the security required within seven (7) business days after due notice that the contract has been awarded to him, the amount of the bid deposit made by him shall be retained by the Village of Pelham as liquidated damages for such neglect or refusal, and shall be paid to the Village of Pelham, but if the said bidder to whom the contract is awarded shall execute and deliver the contract and furnish the said security within the time specified, the amount of the bid deposit will be returned to him.

The bidder by submission of his bid agrees with the Village of Pelham that the amount of said bid deposit represents the minimum amount of the damages the Village will suffer by reason of any default as aforesaid.

9. Form of Agreement:

The form of the agreement is included in these documents in Section G – Agreement.

10. Award:

The Contract will be awarded to the lowest responsible bidder pursuant to the provisions of the New York State General Municipal Law. The Village of Pelham reserves the right to determine responsibility based on an evaluation of the Contractor's qualifications, experience, organization, finances, past performance, and other applicable factors. The Village further reserves the right to reject any or all bids.

11. Sales Tax Exemption:

Under Chapter 513 of 1974 of the Laws of New York State all materials and supplies sold to a Contractor for use as an integral, component part of a structure, building or real property owned by an exempt organization, such as the Village of Pelham, are exempt from the payment of New York State Sales or Compensatory Use Taxes. The Contractor shall not include any amount in his bid price to cover sales taxes for the above items.

12. Required Submissions:

Prior to award the successful bidder will be required to meet the following requirements:

a. **Incorporation Certificate:**

The successful bidder, if his business is not registered in New York State, must provide the Village with a certificate issued by the New York State Secretary of State, stating that the Corporation is authorized to do business within the State and is presently in good standing. If the entity to whom the bid is awarded is not a corporation, it is required that the entity's certificate of doing business be provided (which should be on file in the County Clerk's Office).

This also holds true in the case of joint ventures, which would be required to disclose the underlying entities of the joint venture and to supply the requisite certificates of doing business for each such entity.

b. **No-Conflict Statement:**

A Statement by the successful bidder that no officer, director or stockholder (if less than 10 stockholders) of the successful bidder is an officer or employee of the Village, or a relative of an officer or employee of the Village. If such an officer, director or stockholder exists, full disclosure to the Village of their name(s) and relationship(s) is required.

13. Affirmative Action Requirements:

All bidders shall complete and submit the certification form contained in Section F, Affirmative Action Requirements, Equal Employment Opportunity, indicating that they will comply with the provisions of all applicable Federal, State and Local equal opportunity requirements.

**Section C:
Declarations**

Wolfs Lane Park Site Improvements
Village of Pelham
Westchester County, New York

Bid Submitted by: _____

Address: _____

City/State/Zip Code: _____

Phone: _____

To: The Village of Pelham
Village Administrator's Office
195 Sparks Avenue
Pelham, New York 10803

1. I/We hereby declare that I/We have carefully examined the Notice to Bidders, the Specifications and Requirements for the above entitled matter and work, and have examined the site(s).
2. I/We do hereby offer and agree to furnish all labor and materials, to fully and faithfully construct, perform and execute all work in the above titled matter in accordance with the related requirements. I/We will furnish all labor, tools, implements, models, forms, transportations and materials necessary and proper for the purpose(s) and for the price(s) set forth on the bid forms.
3. I/We do hereby declare that the prices so stated cover all expenses of every kind incidental to the completion of said work, and the contract therefore, including all claims that may arise through damages or any other cause whatsoever.
4. I/We do hereby agree that I/We will execute a contract therefore, containing all terms, conditions, provisions and covenants necessary to complete the work according to the Specifications and Requirements therefore within two (2) weeks after the contract is awarded by the Village. If I/We fail to execute said contract within said period of time, the Village of Pelham shall have the power to rescind the award and award the bid and contract to the next lowest responsible bidder.
5. I/We declare and agree to commence work within five (5) days after execution of the Contract and to complete the work fully and in every respect on or before the time specified in said Contract and do authorize the Village, in case of failure to complete the work within the specified time, to employ such men, equipment and materials as may be necessary for the proper completion of said work and to deduct the cost thereof from the amount due under the Contract.
6. I/We agree that the Village of Pelham reserves the right to select any one, a combination of, or all of the Bid items in this proposal for the Contractor to complete without affecting any of the Bid prices.

Section C: Declarations (Continued)

7. I/We hereby affirm that by submission of this Bid, each bidder and each person signing on behalf of any Bidder certifies, and in the case of a joint bid each party certifies as to its organization, under the penalty of perjury, that to the best of knowledge and belief:
 - (a) the prices in this Bid have been arrived at independently without collusion, consultation, communication or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other Bidder or with any competitor; and
 - (b) unless otherwise required by law, the prices which have been quoted in this Bid have not been knowingly disclosed by the Bidder and will not knowingly be disclosed by the Bidder prior to opening, directly or indirectly, to any other Bidder or to any competitor; and
 - (c) no attempt has been made or will be made by the Bidder to induce any person, partnership or corporation to submit or not submit a Bid for the purpose of restricting competition.
 - (d) no member of the Village Board, or officer, or employee of the Village of Pelham, or person whose salary is payable in whole or in part by the Village is or shall become interested as a contracting party, partner, stockholder, surety, or otherwise, in this Bid or in the performance of this Contract, or in the supplies, materials, or equipment and work or labor to which it relates, or in any portion of the profits thereof.
8. I/We hereby agree that this proposal is a firm Bid and shall remain in effect for a period of at least forty five (45) calendar days from the Bid-opening deadline and that within said period of forty five (45) days the Village of Pelham will accept or reject this proposal, or this period may be extended upon mutual agreement.
9. I/We declare that if this is a Corporate Bid I/We have been duly authorized to act as the Signatory on this proposal on behalf of this Corporation.
10. I/We affirm, under penalty of perjury, that all statements in this proposal are true and correct.
11. I/We hereby agree that upon award of the bid, Contractor shall supply the Village of Pelham with a Certificate of Insurance as outlined in the Schedule of Insurance (see Section H).
12. I/We hereby agree that I/We shall make no claim on account of any variation of the approximate estimate in the quantities of work to be done, whether the actual quantities are greater, smaller or completely deleted. A change in the quantity of any item shall not be regarded as sufficient grounds for a change in the price of that item.
13. All listed work, if applicable, shall be completed within sixty (60) calendar days from commencement of work. Additional items added, per unit prices, must be completed within thirty (30) calendar days of a written order from the Village of Pelham.

Signatures and Execution – next page.

Section C: Declarations (Continued)

Legal Name of Bidder, Partner or Corporate Officer:

By: _____

Corporate Seal
(if incorporated)

Bidder Acknowledges receipt of Addenda as follows:

Addendum 1: Signature _____

Addendum 2: Signature _____

Addendum 3: Signature _____

Addendum 4: Signature _____

**Section D:
Bid Proposal Form**

Please provide your bid proposal broken down into the line items listed below for review. All quantities listed below are approximate and it is the responsibility of the Contractor(s) to confirm actual quantities required on the plan(s) and detail(s) prior to submitting bid. All quantities and scope of work on the drawings take precedence over quantities listed on this bid form. Bring any discrepancies to the immediate attention of the Landscape Architect prior to submitting a bid proposal for the work.

Except as otherwise noted, supply and install all labor and materials required and necessary to complete the work.

Masonry Contractor to supply and maintain an on-site portable toilet facility for the duration of construction.

MC: Masonry Contractor
EC: Electrical Contractor
LC: Landscape Contractor

Drawing List:

Original Date	Page /Sheet	Drawing Name	Revision Date	Drawn By	Notes
04/11/12	1 of 4	Topography of Property Prepared for Village of Pelham	07/12/16	T. Merritts	Issued for Bidding
04/11/12	2 of 4	Topography of Property Prepared for Village of Pelham	07/12/16	T. Merritts	Issued for Bidding
04/11/12	3 of 4	Topography of Property Prepared for Village of Pelham	07/12/16	T. Merritts	Issued for Bidding
04/11/12	4 of 4	Topography of Property Prepared for Village of Pelham	07/12/16	T. Merritts	Issued for Bidding
08/16/16	T-1	Titlesheet and General Specifications	09/21/16	SJLA	Issued for Bidding
08/16/16	L-0	Overall Site Plan Project Areas (A-F)	09/21/16	SJLA	Issued for Bidding
08/16/16	L-0.A	Nyac Ave. Walk (Area A) Demolition and Removals Plan	09/21/16	SJLA	Issued for Bidding
08/16/16	L-0.B	Village Green (Area B) Demolition and Removals Plan	09/21/16	SJLA	Issued for Bidding
08/16/16	L-0.C	Native Garden (Area C) Demolition and Removals Plan	09/21/16	SJLA	Issued for Bidding
08/16/16	L-0.D	Second St. Entrances (Area D) Demolition and Removals Plan	09/21/16	SJLA	Issued for Bidding
08/16/16	L-0.E	Wolf's Ln. Seating (Area E) Demolition and Removals Plan	09/21/16	SJLA	Issued for Bidding
08/16/16	L-0.F	Boulevard Entrance (Area F) Demolition and Removals Plan	09/21/16	SJLA	Issued for Bidding

08/16/16 L-1.A	Nyac Ave. Walk (Area A) Layout, Materials, and Grading Plan	09/21/16	SJLA	Issued for Bidding
08/16/16 L-1.B	Village Green (Area B) Layout, Materials, and Grading Plan	09/21/16	SJLA	Issued for Bidding
08/16/16 L-1.C	Native Garden (Area C) Layout, Materials, and Grading Plan	09/21/16	SJLA	Issued for Bidding
08/16/16 L-1.D	Second St. Entrances (Area D) Layout, Materials, and Grading Plan	09/21/16	SJLA	Issued for Bidding
08/16/16 L-1.E	Wolf's Ln. Seating (Area E) Layout, Materials, and Grading Plan	09/21/16	SJLA	Issued for Bidding
08/16/16 L-1.F	Boulevard Entrance (Area F) Layout, Materials, and Grading Plan	09/21/16	SJLA	Issued for Bidding
08/16/16 D-1	Detailed Plans	09/21/16	SJLA	Issued for Bidding
08/16/16 D-2	Detailed Plans and Details	09/21/16	SJLA	Issued for Bidding
08/16/16 D-3	Details	09/21/16	SJLA	Issued for Bidding
08/16/16 D-4	Details	09/21/16	SJLA	Issued for Bidding
08/16/16 D-5	Site Preparation and Erosion Control Details	09/21/16	SJLA	Issued for Bidding

Bid Proposal – next page.

Section D: Bid Proposal Form (Continued)

MC - MASONRY CONTRACTOR (M.C.) BASE CONTRACT LINE ITEMS

Notes:

- Installation of all materials, products and elements of the design to be installed as per plans and details.
- M.C. shall provide samples and mock-ups of all materials and products as specified or *approved equal* for L.A. and Owner/Agent approval.
- All proprietary materials and products specified can be subject to change for *approved equal* products. M.C. to provide samples of proposed *approved equal* materials and products prior to installation for L.A. and Owner Agent approval.
- M.C. to provide mock-up layouts of all new paved walkways, paved surfaces and all other design elements prior to installation for L.A. and Owner/Agent approval.
- M.C. shall be responsible for the removal of excess materials and the restoration of disturbed areas with stockpiled soil and hay and seed.
- M.C. shall be responsible for the removal of site preparation materials such as but not limited to tree protection, construction and silt fencing, etc.
- Site preparation, demolitions and removals to be included in base bid.
- Site amenities to be supplied by Owner/Agent, M.C. is responsible for the pick-up and installation of site amenities as per plans and details.

I. AREA A - NYAC AVE. WALK

1) Site Preparation, Demolition and Removals

- a) Supply and install tree protection as required
- b) Supply and install construction fence and silt fence
- c) Remove and discard existing asphalt walkway
 - i) Suitable existing sub base to remain for new walkway installation

BID PRICE.....

2) Concrete Unit Pavement Aprons (Over Dry Setting Bed) with Steel Edge

- a) Supply and install concrete unit pavement aprons over sand setting bed
 - i) Supply and install *Artline concrete unit paver by Unilock* with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow random mix laying pattern provided by *Unilock* with paver border
 - (2) Supply and install *Unilock Steel Mountain* color
 - ii) Supply and install crushed stone base and cement/sand setting bed
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along *Unilock* concrete paver edge

BID PRICE.....

Section D: Bid Proposal Form (Continued)

3) Stabilized Stone Dust Pavement Walkway with Steel Edge

- a) Supply and install Stone Dust Pavement walkway
 - i) Supply and install 3" thick compacted stabilized pathway mix
 - ii) Supply and install crushed stone base
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along Stone Dust walkway edge

BID PRICE.....

AREA A TOTAL BID PRICE (with Stabilized Stone Dust) _____

Alternate Bid Items:

Amount added or deducted from the amount of the base bid if corresponding change in the scope is accepted:

1) Concrete Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install Concrete Pavement walkway as per plans and details
 - i) Supply and install reinforced concrete 3500 P.S.I., with light broom finish
 - ii) Supply and install crushed stone base
 - iii) Supply and install score and expansion joints

CONCRETE PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

2) KBI Flexi-Pave Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install *KBI Flexi-stone™ FS 2000 Porous Pavement KBI Permadrive PD2000* as per manufacturer's specifications
 - i) Supply and install 3/4" clean coarse aggregate 95% compaction per AASHTO T-180 2" minimum
 - ii) Supply and install 1-1/4" clean coarse aggregate 95% compaction per AASHTO T-180 4" minimum

KBI FLEXI-PAVE PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

II. AREA B - VILLAGE GREEN AREA

1) Site Preparation, Demolition and Removals

- a) Supply and install tree protection as required
- b) Supply and install construction fence and silt fence
- c) Remove and discard existing asphalt walkway
 - i) Suitable existing sub base to remain for new walkway installation

BID PRICE.....

Section D: Bid Proposal Form (Continued)

AREA B-1 – VILLAGE GREEN PLAZA

1) Bluestone Paving at Center of Village Green Plaza (Over Dry Setting Bed)

- a) Supply and install Bluestone paving over dry setting bed at center of Village Green Plaza
 - (1) Supply and install 2 ¾" thick radial cut Pennsylvania Bluestone paving, thermal finish with hand tight polymeric sand swept joints
 - (2) Supply and install paving stones to follow size and pattern as shown on plans
- i) Supply and install crushed stone base and cement/sand setting bed
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along Bluestone border edge

BID PRICE.....

2) Concrete Unit Pavement with Bluestone Border (Over Dry Setting Bed) and Steel Edge

- a) Supply and install concrete unit pavement with Bluestone border over dry setting bed
 - i) Supply and install *Artline concrete unit paver by Unilock* with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow random mix laying pattern provided by *Unilock* as shown on plans
 - (2) Supply and install *Unilock Steel Mountain* color
 - ii) Supply and install 2 ¾" thick radial cut Pennsylvania Bluestone paving border, thermal finish, with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow size and pattern as shown on plans
 - iii) Supply and install crushed stone base and cement/sand setting bed
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along *Unilock* concrete paver edge

BID PRICE.....

3) Fountain Installation at Center of Village Green Plaza

- a) Install Granite sphere fountain water feature at center of plaza as supplied by Owner/Agent
 - i) Supply and install gravel base, reinforced concrete base, footings etc. as per manufacturer's specifications
 - ii) Supply and install water line and electric connection to the fountain as per manufacturer's specifications
 - (1) M.C. to coordinate with Village E.C. and Village plumber location of point of connection from Village water line and electrical line to connect to fountain
 - iii) Supply and install auto-fill mechanism, overflow and drain
 - iv) Supply and install Bluestone curb
 - v) Supply and install pebbles, color and finish T.B.D.; M.C. to provide samples of pebbles
 - vi) Supply and install stainless steel grate under pebbles

BID PRICE.....

Section D: Bid Proposal Form (Continued)

4) Double Curved Benches with Back

- a) Install (2) *Windemere Double Curved Bench by Country Casual* as supplied by Owner/Agent
- b) Supply and install concrete base to attach wood bench
 - i) Supply and install anchor to bolt bench through paver into concrete base
 - ii) Install new bench to concrete base

BID PRICE.....

AREA B-1 TOTAL BID PRICE _____

AREA B-2 – SCULPTURE GARDEN PLAZA

1) Repair and Reassemble Existing Stone Wall

- a) Supply and install stone to match existing park stone walls to repair and reassemble low retaining wall
 - i) Supply and install mortar joints to match existing park stone walls
 - ii) Supply and install scotch bond stone cap to match existing stone as required
 - iii) Supply and install reinforcement and footings as required to complete the work

BID PRICE.....

2) Bluestone Paving at Center of Sculpture Garden Plaza (Over Dry Setting Bed)

- a) Supply and install Bluestone paving over dry setting bed
 - i) Supply and install 2 3/4" thick radial cut Pennsylvania Bluestone paving, thermal finish, with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow size and pattern as shown on plans
 - ii) Supply and install crushed stone base and cement/sand setting bed

BID PRICE.....

3) Concrete Unit Pavement with Bluestone Border (Over Dry Setting Bed) with Steel Edge

- a) Supply and install concrete unit pavement with Bluestone border over dry setting bed
 - i) Supply and install *Artline concrete unit paver by Unilock* with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow random mix laying pattern provided by *Unilock* with paver border as shown on plans
 - (2) Supply and install *Unilock Steel Mountain* color
 - ii) Supply and install 2 3/4" thick radial cut Pennsylvania Bluestone paving border, thermal finish, with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow size and pattern as shown on plans
 - iii) Supply and install crushed stone base and cement/sand setting bed
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along *Unilock* concrete paver edge

BID PRICE.....

Section D: Bid Proposal Form (Continued)

4) Single Curved Bench with Back

- a) Install (4) *Windermere Curved Bench by Country Casual* as supplied by Owner/Agent
- b) Supply and install concrete base to attach wood bench
 - i) Supply and install anchor to bolt bench through paver into concrete base
 - ii) Install new bench to concrete base

BID PRICE.....

AREA B-2 TOTAL BID PRICE_____

AREAS B-3 – PARK MAIN ENTRANCE, WALKWAYS AND WALKWAY APRONS

1) Main Entrance Apron Concrete Unit Pavement (Over Dry Setting Bed) with Steel Edge

- a) Supply and install concrete unit pavement apron over dry setting bed
 - i) Supply and install *Artline concrete unit paver by Unilock* with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow random mix laying pattern provided by *Unilock* with paver border as shown on plans
 - (2) Supply and install *Unilock Steel Mountain* color
 - ii) Supply and install crushed stone base and cement/sand setting bed
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along *Unilock* concrete paver edge

BID PRICE.....

2) Main Entrance Pier with Wing Wall

- a) Supply and install stone piers with wing wall
 - i) Supply and install stone to match existing park stone walls with mortar joints
 - ii) Supply and install stone cap to match existing park walls
 - iii) Supply and install gravel base, concrete footings, reinforcement etc. as required

BID PRICE.....

3) Stabilized Stone Dust Pavement Walkways with Steel Edge

- a) Supply and install Stone Dust Pavement walkway
 - i) Supply and install 3" thick compacted stabilized pathway mix
 - ii) Supply and install crushed stone base
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along Stone Dust walkway edge

BID PRICE.....

4) Concrete Unit Pavement Walkway Aprons (Over Dry Setting Bed) with Steel Edge (See Plans for Quantities and Location)

- a) Supply and install concrete unit pavement aprons over dry setting bed

- i) Supply and install *Artline concrete unit paver by Unilock* with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow random mix laying pattern provided by *Unilock* with paver border as shown on plans
 - (2) Supply and install *Unilock Steel Mountain* color
- ii) Supply and install crushed stone base and cement/sand setting bed
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along *Unilock* concrete paver edge

BID PRICE.....

5) Engraved Bluestone Paver at Park Entrances (See Plans for Quantities and Location)

- a) Supply and install engraved Bluestone paver over dry setting bed
 - i) Supply and install 2 3/4" thick solid Pennsylvania Bluestone piece, thermal finish with engraving
 - (1) Supply and install hand tight polymeric sand swept joints

BID PRICE.....

6) Stone Wall

- a) Supply and install stone wall
 - i) Supply and install stone to match existing park stone walls with mortar joints
 - ii) Supply and install stone cap to match existing park walls
 - iii) Supply and install gravel base, concrete footings, reinforcement etc. as required

BID PRICE.....

AREA B-3 TOTAL BID PRICE (with Stabilized Stone Dust) _____

Alternate Bid Items:

Amount added or deducted from the amount of the base bid if corresponding change in the scope is accepted:

1) Concrete Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install Concrete Pavement walkway as per plans and details
 - i) Supply and install reinforced concrete 3500 P.S.I., with light broom finish
 - ii) Supply and install crushed stone base
 - iii) Supply and install score and expansion joints

CONCRETE PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

2) KBI Flexi-Pave Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install *KBI Flexi-stone™ FS 2000 Porous Pavement KBI Permadrive PD2000* as per manufacturer's specifications
 - i) Supply and install 3/4" clean coarse aggregate 95% compaction per AASHTO T-180 2" minimum
 - ii) Supply and install 1-1/4" clean coarse aggregate 95% compaction per AASHTO T-180 4" minimum

KBI FLEXI-PAVE PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

Section D: Bid Proposal Form (Continued)

AREAS B-4 – WOODLAND WALKWAY

1) Wood Chip Walkway

- a) Supply and install brown mulch for Woodland Walkway
- b) Grade walkway area to achieve level walking surface as required

BID PRICE.....

2) Relocate (3) Existing Wood Bench Over Concrete Base

- a) Supply and install concrete base to attach wood bench
 - i) Supply and install anchor to bolt bench to concrete base
 - ii) Install and anchor existing bench to concrete base
- b) Supply and install brown mulch over concrete base

BID PRICE.....

AREA B-4 TOTAL BID PRICE _____

III. AREA C – NATIVE GARDEN

1) Site Preparation, Demolition and Removals

- a) Supply and install tree protection as required
- b) Supply and install construction fence and silt fence
- c) Remove and discard existing concrete walkway
 - i) Suitable existing sub base to remain for new walkway installation

BID PRICE.....

AREA C-1 – PERGOLA AREA PAVING

1) Concrete Unit Pavement with Bluestone Border (Over Dry Setting Bed) with Steel Edge

- a) Supply and install concrete unit pavement with Bluestone border over dry setting bed
 - i) Supply and install *Artline concrete unit paver by Unilock* with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow random mix laying pattern provided by *Unilock* as shown on plans
 - (2) Supply and install *Unilock Steel Mountain* color
 - ii) Supply and install 2 ¾" thick Pennsylvania Bluestone paving border, thermal finish, with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow size and pattern as shown on plans
 - iii) Supply and install crushed stone base and cement/sand setting bed

- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along *Unilock* concrete paver edge

BID PRICE.....

2) Concrete Pavement

- a) Supply and install Concrete Pavement walkway
 - i) Supply and install reinforced concrete 3500 P.S.I., with light broom finish
 - ii) Supply and install crushed stone base
 - iii) Supply and install score and expansion joints

BID PRICE.....

3) Reset Existing Wood Benches (Over Concrete Base)

- a) Supply and install concrete base to attach wood bench
 - i) Supply and install anchor to bolt bench through paver into concrete base
 - ii) Install and anchor existing bench to concrete base

BID PRICE.....

AREA C-1 TOTAL BID PRICE _____

AREA C-2 – WOLF'S LANE SEATING AREA

1) Concrete Unit Pavement (Over Dry Setting Bed)

- a) Supply and install concrete unit pavement over dry setting bed
 - i) Supply and install *Artline concrete unit paver* by *Unilock* with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow random mix laying pattern with border provided by *Unilock* as shown on plans
 - (2) Supply and install *Unilock Steel Mountain* color
 - ii) Supply and install crushed stone base and cement/sand setting bed
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along *Unilock* concrete paver edge

BID PRICE.....

2) Reset (3) Existing Wood Benches (Over Concrete Base)

- a) Supply and install concrete base to attach wood bench
 - i) Supply and install anchor to bolt bench through paver into concrete base
 - ii) Install and anchor existing bench to concrete base

BID PRICE.....

3) Stabilized Stone Dust Pavement Walkway with Steel Edge

- b) Supply and install Stone Dust Pavement walkway
 - i) Supply and install 3" thick compacted stabilized pathway mix
 - ii) Supply and install crushed stone base
- c) Supply and install 1/8" thick black steel edging by *Border Concepts* along Stone Dust walkway edge

BID PRICE.....

AREA C-2 TOTAL BID PRICE (with Stabilized Stone Dust) _____

Alternate Bids Item:

Amount added or deducted from the amount of the base bid if corresponding change in the scope is accepted:

1) Concrete Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install Concrete Pavement walkway as per plans and details
 - i) Supply and install reinforced concrete 3500 P.S.I., with light broom finish
 - ii) Supply and install crushed stone base
 - iii) Supply and install score and expansion joints

CONCRETE PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

2) KBI Flexi-Pave Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install KBI Flexi-stone™ FS 2000 Porous Pavement KBI Permadrive PD2000 as per manufacturer's specifications
 - i) Supply and install 3/4" clean coarse aggregate 95% compaction per AASHTO T-180 2" minimum
 - ii) Supply and install 1-1/4" clean coarse aggregate 95% compaction per AASHTO T-180 4" minimum

KBI 'FLEXI-PAVE' PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

IV. AREA D – SECOND ST. ENTRANCES NORTH AND SOUTH

1) Site Preparation, Demolition and Removals

- a) Supply and install tree protection as required
- b) Supply and install construction fence and silt fence
- c) Preserve and protect stone memorial monument with plaque for re-locating

BID PRICE.....

AREA D-1 – SECOND ST. ENTRANCE NORTH

1) Concrete Unit Pavement (Over Dry Setting Bed)

- a) Supply and install concrete unit pavement over dry setting bed
 - i) Supply and install *Artline concrete unit paver by Unilock* with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow random mix laying pattern with border provided by *Unilock* as shown on plans
 - (2) Supply and install *Unilock Steel Mountain* color
 - ii) Supply and install crushed stone base and cement/sand setting bed
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along *Unilock* concrete paver edge

BID PRICE.....

2) Reset (3) Existing Wood Benches (Over Concrete Base)

- a) Supply and install concrete base to attach wood bench
 - i) Supply and install anchor to bolt bench through paver into concrete base
 - ii) Install and anchor existing bench to concrete base

BID PRICE.....

3) Stabilized Stone Dust Pavement Walkway with Steel Edge

- b) Supply and install Stone Dust Pavement walkway
 - i) Supply and install 3" thick compacted stabilized pathway mix
 - ii) Supply and install crushed stone base
- c) Supply and install 1/8" thick black steel edging by *Border Concepts* along Stone Dust walkway edge

BID PRICE.....

AREA D-1 TOTAL BID PRICE (with Stabilized Stone Dust) _____

Alternate Bid Items:

Amount added or deducted from the amount of the base bid if corresponding change in the scope is accepted:

1) Concrete Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install Concrete Pavement walkway as per plans and details
 - i) Supply and install reinforced concrete 3500 P.S.I., with light broom finish
 - ii) Supply and install crushed stone base
 - iii) Supply and install score and expansion joints

CONCRETE PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

2) KBI Flexi-Pave Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install *KBI Flexi-stone™ FS 2000 Porous Pavement KBI Permadrive PD2000* as per manufacturer's specifications
 - i) Supply and install 3/4" clean coarse aggregate 95% compaction per AASHTO T-180 2" minimum
 - ii) Supply and install 1-1/4" clean coarse aggregate 95% compaction per AASHTO T-180 4" minimum

KBI FLEXI-PAVE PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

Section D: Bid Proposal Form (Continued)

AREA D-2 – SECOND ST. ENTRANCE SOUTH

1) Concrete Unit Pavement (Over Dry Setting Bed)

- a) Supply and install concrete unit pavement over dry setting bed
 - i) Supply and install *Artline concrete unit paver by Unilock* with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow random mix laying pattern with border provided by *Unilock* as shown on plans
 - (2) Supply and install *Unilock Steel Mountain* color
 - ii) Supply and install crushed stone base and cement/sand setting bed
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along *Unilock* concrete paver edge

BID PRICE.....

2) Reset (5) Existing Wood Benches (Over Concrete Base)

- a) Supply and install concrete base to attach wood bench
 - i) Supply and install anchor to bolt bench through paver into concrete base
 - ii) Install and anchor existing bench to concrete base

BID PRICE.....

3) Stabilized Stone Dust Pavement Walkway with Steel Edge

- a) Supply and install Stone Dust Pavement walkway
 - i) Supply and install 3" thick compacted stabilized pathway mix
 - ii) Supply and install crushed stone base
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along Stone Dust walkway edge

BID PRICE.....

AREA D-2 TOTAL BID PRICE (with Stabilized Stone Dust) _____

Alternate Bid Items:

Amount added or deducted from the amount of the base bid if corresponding change in the scope is accepted:

1) Concrete Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install Concrete Pavement walkway as per plans and details
 - i) Supply and install reinforced concrete 3500 P.S.I., with light broom finish
 - ii) Supply and install crushed stone base
 - iii) Supply and install score and expansion joints

CONCRETE PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

1) KBI Flexi-Pave Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install KBI Flexi-stone™ FS 2000 Porous Pavement KBI Permadrive PD2000 as per manufacturer's specifications
 - i) Supply and install 3/4" clean coarse aggregate 95% compaction per AASHTO T-180 2" minimum
 - ii) Supply and install 1-1/4" clean coarse aggregate 95% compaction per AASHTO T-180 4" minimum

KBI 'FLEXI-PAVE' PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

AREA D-3 – BOCCE COURTS

1) Bocce Courts

- a) Supply and install Bocce Court edge
 - i) Supply and install stacked No. 1 Clear Western Red Cedar wooden edge
 - ii) Supply and install No. 1 Clear Western Red Cedar wood cap to wooden edge
 - iii) Supply and install wooden edge reinforcement as required
- b) Supply and install bocce court playing surface by Boccemon 'Rain Country Blend'
- c) Supply and install crushed stone base
- d) Supply and install filter fabric
- e) Supply and install sub base

BID PRICE.....

AREA D-3 TOTAL BID PRICE _____

V. AREA E - WOLF'S LANE SEATING AREAS (See Plans for Quantities and Locations)

1) Site Preparation, Demolition and Removals

- a) Supply and install tree protection as required
- b) Supply and install construction fence and silt fence

BID PRICE.....

2) Concrete Unit Pavement (Over Dry Setting Bed)

- a) Supply and install concrete unit pavement over dry setting bed
 - i) Supply and install *Artline concrete unit paver* by *Unilock* with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow random mix laying pattern with border provided by *Unilock* as shown on plans
 - (2) Supply and install *Unilock Steel Mountain* color
 - ii) Supply and install crushed stone base and cement/sand setting bed
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along *Unilock* concrete paver edge

BID PRICE.....

3) Reset (6) Existing Wood Benches (Over Concrete Base)

- a) Supply and install concrete base to attach wood bench
 - i) Supply and install anchor to bolt bench through paver into concrete base
 - ii) Install and anchor existing bench to concrete base

BID PRICE.....

AREA E TOTAL BID PRICE _____

VI. AREA F – BOULEVARD ENTRANCE

1) Site Preparation, Demolition and Removals

- a) Supply and install tree protection as required
- b) Supply and install construction fence and silt fence

BID PRICE.....

AREA F-1 – BOULEVARD ENTRANCE

1) Concrete Unit Pavement (Over Dry Setting Bed) with Steel Edge

- a) Supply and install concrete unit pavement over dry setting bed
 - i) Supply and install *Artline concrete unit paver by Unilock* with hand tight polymeric sand swept joints
 - (1) Supply and install paving stones to follow random mix laying pattern with border provided by *Unilock* as shown on plans
 - (2) Supply and install *Unilock Steel Mountain* color
 - ii) Supply and install crushed stone base and cement/sand setting bed
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along *Unilock* concrete paver edge

BID PRICE.....

2) Stabilized Stone Dust Pavement Walkway with Steel Edge

- a) Supply and install Stone Dust Pavement walkway
 - i) Supply and install 3" thick compacted stabilized pathway mix
 - ii) Supply and install crushed stone base
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along Stone Dust walkway edge

BID PRICE.....

3) Reset (3) Existing Wood Benches (Over Concrete Base)

- a) Supply and install concrete base to attach wood bench
 - i) Supply and install anchor to bolt bench through paver into concrete base
 - ii) Install and anchor existing bench to concrete base

BID PRICE.....

AREA F-1 TOTAL BID PRICE (with Stabilized Stone Dust) _____

Alternate Bid Items:

Amount added or deducted from the amount of the base bid if corresponding change in the scope is accepted:

1) Concrete Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install Concrete Pavement walkway as per plans and details
 - i) Supply and install reinforced concrete 3500 P.S.I., with light broom finish
 - ii) Supply and install crushed stone base
 - iii) Supply and install score and expansion joints

CONCRETE PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

2) KBI Flexi-Pave Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install KBI Flexi-stone™ FS 2000 Porous Pavement KBI Permadrive PD2000 as per manufacturer's specifications
 - i) Supply and install 3/4" clean coarse aggregate 95% compaction per AASHTO T-180 2" minimum
 - ii) Supply and install 1-1/4" clean coarse aggregate 95% compaction per AASHTO T-180 4" minimum

KBI 'FLEXI-PAVE' PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

AREA F-2 – PLAY EQUIPMENT AREA

1) Wood Fiber Pavement with Wooden Edge

- a) Supply and install play equipment area edge
 - i) Supply and install reinforced concrete edge
- b) Supply and install *Fibar System 300 Wood Fibre and Drainage System by Fibar Playground Surfaces*
- c) Supply and install suitable sub base for play surface installation

BID PRICE.....

2) Supernova Play Equipment

- a) Install *GXY916000 Supernova – Blue Solitaire Spinner by Kompan* as supplied by Owner/Agent, as per manufacturer's specifications
 - i) Supply and install concrete footings as required

BID PRICE.....

AREA F-2 TOTAL BID PRICE _____

AREA F-3 – PING PONG COURT

1) Stabilized Stone Dust Pavement with Steel Edge

- a) Supply and install Stone Dust Pavement

- i) Supply and install 3" thick compacted stabilized pathway mix
- ii) Supply and install crushed stone base
- b) Supply and install 1/8" thick black steel edging by *Border Concepts* along Stone Dust pavement edge

BID PRICE.....

2) Outdoor Tennis Table

- a) Install *The Silk Table* by *Henge* outdoor concrete tennis table as supplied by Owner/Agent
 - i) Supply and install required hardware to anchor and bolt table to the ground as per manufacturers specifications

BID PRICE.....

3) Reset (2) Existing Wood Benches

- a) Supply and install concrete base to attach wood bench
 - i) Supply and install anchor to bolt bench through Stabilized Stone Dust pavement into concrete base
 - ii) Install and anchor existing bench to concrete base

BID PRICE.....

AREA F-3 TOTAL BID PRICE (with Stabilized Stone Dust) _____

Alternate Bid Items:

Amount added or deducted from the amount of the base bid if corresponding change in the scope is accepted:

1) Concrete Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install Concrete Pavement as per plans and details
 - i) Supply and install reinforced concrete 3500 P.S.I., with light broom finish
 - ii) Supply and install crushed stone base
 - iii) Supply and install score and expansion joints

CONCRETE PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

2) KBI Flexi-Pave Pavement (in lieu of Stabilized Stone Dust Pavement)

- a) Supply and install *KBI Flexi-stone™ FS 2000 Porous Pavement KBI Permadrive PD2000* as per manufacturer's specifications
 - i) Supply and install 3/4" clean coarse aggregate 95% compaction per AASHTO T-180 2" minimum
 - ii) Supply and install 1-1/4" clean coarse aggregate 95% compaction per AASHTO T-180 4" minimum

KBI 'FLEXI-PAVE' PAVEMENT (in lieu of Stabilized Stone Dust Pavement) _____

AREA F-4 – PICNIC AREA

1) Picnic Tables

- a) Install (6) *Larchmont*' picnic table by *Country Casual* as supplied by Owner/Agent
 - i) Supply and install auger type anchor to bolt down tables

BID PRICE.....

AREA F-4 TOTAL BID PRICE _____

Attention Bidder:

Please use this area to list other items/costs as may be required to complete the work as per the plans and details and that do not fall within the line item descriptions listed above.

1) Miscellaneous Other Items

a) Describe_____

BID PRICE.....

2) Miscellaneous Other Items

a) Describe_____

BID PRICE.....

GRAND TOTAL SUBMISSION FORM – NEXT PAGE

WOLF'S LANE PARK BID FORM				
<u>I. AREA A - NYAC AVE. WALK</u>			LINE ITEM	SUB-TOTAL
1.1	Area A Nyac Ave. Walk			
				=
<u>II. AREA B - VILLAGE GREEN AREA</u>				
2.1	Site preparation, demolition and removals			
2.2	Area B-1 Village Green Plaza			
2.3	Area B-2 Sculpture Garden Plaza			
2.4	Area B-3 Park Main Entrance, Walkways and Walkway Aprons			
2.5	Area B-4 Woodland Walk			
				=
<u>III. AREA C – NATIVE GARDEN</u>				
3.1	Site preparation, demolition and removals			
3.2	Area C-1 Pergola Area Paving			
3.3	Area C-2 Wolf's Lane Seating Area			
				=
<u>IV. AREA D – SECOND ST. ENTRANCES NORTH AND SOUTH</u>				
4.1	Site preparation, demolition and removals			
4.2	Area D-1 Second St. Entrance North			
4.3	Area D-2 Second St. Entrance South			
4.4	Area D-3 Bocce Courts			
				=
<u>V. AREA E – WOLF'S LANE SEATING</u>				
5.1	Site preparation, demolition and removals			
5.2	Area E Wolf's Lane Seating			
				=
<u>VI. AREA F - BOULEVARD ENTRANCE</u>				
6.1	Area F-1 Boulevard Entrance			
6.2	Area F-2 Play Equipment Area			
6.3	Area F-3 Ping Pong Court			
6.4	Area F-4 Picnic Area			
				=
				TOTAL
TOTAL BASE BID (with Stabilized Stone Dust for Walkways)				
ALTERNATES:				
Amount added or deducted from the amount of the base bid if corresponding change in the scope is accepted.				
Concrete Pavement (in lieu of Stone Dust Pavement)				
KBI Flexi-Pave Pavement (in lieu of Stabilized Stone Dust Pavement)				

WOLF'S LANE PARK BID FORM GRAND TOTAL AMOUNTS	
GRAND TOTAL BID WITH STABILIZED STONE DUST	
GRAND TOTAL BID WITH CONCRETE PAVEMENT	
GRAND TOTAL BID WITH FLEXI-PAVE PAVEMENT	

The Village of Pelham has the right to add or delete the above quantities for additions or deletions of labor and materials and may select or reject certain items, based upon Unit and/or Item prices bid.

Date: _____

Firm/Business Name: _____

Address (Street/City/Zip): _____

Signature: _____

Print Name and Title: _____

Phone: _____

Notes:

The Village of Pelham reserves the right to reject any and all Items bid, to waive any informality in any Bid, and to award the Contract to other than the lowest Bidder if in the Village's best interest.

**Section E:
Non-Collusive Bidding Certification**

In accordance with Section 103-d of the New York State General Municipal Law, effective September 1, 1966, every bid or proposal hereafter made to a political subdivision of the state or any public department, agency, or official thereof or to a fire district or any agency or official thereof where competitive bidding is required by statute, rule, regulation or local law for work or services performed or to be performed or goods sold or to be sold, shall contain the following statement subscribed to by the bidder and affirmed to by the bidder as true under the penalties of perjury:

Non-collusive bidding certification:

A. By submission of this bid, each bidder and person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:

(1) The prices in this bid have been arrived at independently without collusion, consultation, communication or agreement for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or any competitor.

(2) Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the Bidder prior to the opening, directly or indirectly, to any Bidder or to any competitor.

(3) No attempt has been made or will be made by the Bidder to induce any other person, partnership, or corporation to submit or not to submit a bid for the purpose of restricting competition.

B. The person signing this bid or proposal certifies that they have fully informed themselves regarding the accuracy of the statements contained in this certification, and under the statements contained in this certification, and under the penalties of perjury, affirms the truth thereof, such penalties being applicable to the Bidder as well as the person signing in Bidder's behalf.

C. That attached hereto (if a corporate bidder) is a certified copy of the resolution authorizing the execution of this certificate by the signer of this bid or proposal in behalf of the corporate bidder.

Note: Form of Resolution on next page.

RESOLUTION

Be it resolved that _____
(Name of Corporation)

be authorized to sign and submit the bid or proposal of this corporation for the project entitled:

Contract # 2016-02 – Wolfs Lane Park Site Improvements

It shall be Contractor's responsibility to notify any utilities to clear obstructed branches from utility lines, and to coordinate with the Pelham Public Works Department and Police Department for any and all traffic control, which shall be augmented by Contractor's employees.

Contractor will include in such bid or proposal the certificate as to non-collusion required by section One Hundred and Three d (103-d) of the New York State General Municipal Law as the act and deed of the corporation, and for any inaccuracies or misstatements in such certificate this corporate bidder shall be liable under the penalties of perjury. The foregoing is a true and correct copy of the resolution adopted by:

(Name of Corporation)
at a meeting of the Board of Directors held on the _____
(Date)

(Corporate Seal)

Secretary _____

Name and Title: _____

Laws of New York State, 1965
Chapter 751, Section 103-d, as amended
effective September 1, 1966.

**Section F:
Equal Employment Opportunity Certification**

Instructions: This certification is required pursuant to Executive Order 11245 (30 F.R. 12319-25). The implementing rules and regulations provide that any bidder or prospective contractor, or any of their proposed subcontractors, shall state as an initial part of the bid or negotiations of the contract whether it has participated in any previous contract or subcontract subject to the equal opportunity clause; and if so, whether it has filed all compliance reports due under applicable instructions. Where the certification indicates that the bidder has not filed a compliance report due under applicable instruction, such bidder shall be required to submit a compliance report within seven (7) calendar days after bid opening. No contract shall be awarded unless such report is submitted.

Certification of Bidder by

Corp. Name: _____

Address: _____

City/State/Zip Code: _____

1. Bidder has participated in a previous contract or subcontract to the Equal Opportunity Clause.

_____ Yes _____ No
(if answer is yes, identify the most recent contract).

2. Compliance reports were required to be filed in connection with such contract or subcontract.

_____ Yes _____ No
(if answer is yes, identify the most recent contract).

3. Bidder has filed all compliance reports due under applicable instructions, including SF-100.

_____ Yes _____ No

4. If answer to item #3 is NO, please explain in detail on reverse side of this certification.

Certification: The information above is true and complete to the best of my knowledge and belief.

Signature: _____

Name and Title of Signer: _____

**Section G:
Agreement**

Contract # 2016-02 – Wolfs Lane Park Site Improvements
Village of Pelham
Westchester County, New York

THIS AGREEMENT made this _____ day of (October), 2016, by and between:

* Strike out the two terms that do not apply.

Corporation organized and existing under the laws of the state of _____

Partnership consisting of _____

Individual trading as _____

Hereinafter called “The Contractor” and the Village of Pelham, NY, hereinafter called “The Village.”

WITNESSETH, that The Contractor and The Village for the consideration stated herein mutually agree as follows:

Article 1. Statement of Work

The Contractor shall furnish all supervision, technical personnel, labor, materials, machinery, tools, appurtenances, equipment and services, including utility and transportation services and perform and complete all work and required supplemental work for the completion of this Contract in strict accordance with the hereinafter referenced Contract Documents including all Addenda thereto, numbered and entitled,

Contract # 2016-02 – Wolfs Lane Park Site Improvements

Article 2. The Contract Price

The Village will pay the Contractor for the performance of the Contract in current funds, for the total quantities of work performed at the stated unit prices stipulated in the Bid for the respective items of work completed subject to additions and deductions as provided in the section on changes in the work Section I - General Conditions.

Article 3. Contract Documents

The Contract Documents shall consist of the following (including their attachments and exhibits, not in any particular order):

- Notice to Bidders;
- Instructions to Bidders;
- Declarations;
- Bid Proposal;
- Addenda (if any);

- Non-Collusive Bidding Certification & Resolution;
- Equal Employment Opportunity Certification;
- This Agreement;
- Certificate(s) of Insurance and Hold Harmless Agreement;
- General Conditions; and
- Signed copy of Bid, with all attachments required for bidding.

Article 4. Term

The general term of this contract is not to exceed six (6) months from the date of execution of this contract.

This Agreement, together with the other Documents enumerated in this Article 4, which said other Documents are as fully a part of the Contract as if hereto attached or herein repeated, forms the Contract between the Contractor and the Village. In the event that any provision in any component part of this Contract conflicts with any provision of any other component the part first enumerated in this Article 4 shall govern, except as otherwise specifically stated.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed in two (2) original copies on the day and year first above written.

(Contractor's Signature) _____

Print Name: _____

Title: _____

(Notarize on next page)

(Administrator's Signature) _____

Robert A. Yamuder, Village Administrator/Treasurer

(Notarize on next page)

STATE OF NEW YORK }
COUNTY OF WESTCHESTER }
VILLAGE OF PELHAM }

_____, 2016, before me personally came _____

to me known, who, being by me duly sworn, did depose and say that he resides at

_____, that he is

(Title) _____

acting on behalf of the corporation described herein and executed the foregoing instrument: that he knows the seal of said Corporation; that the seal affixed to said instrument is such corporate seal; that it was affixed by order of the Board of Directors of the said corporation; and that he signed his name thereto by like order.

Notary Public: _____

Date: _____, 2016

STATE OF NEW YORK }
COUNTY OF WESTCHESTER }
VILLAGE OF PELHAM }

_____, 2016, before me personally came _____

to me known, who, being by me duly sworn, did depose and say that he is the Village Administrator/Treasurer of the Village of Pelham, New York, the municipal corporation described herein, and which executed the foregoing instrument: that he knows the seal of said Village; that the seal affixed to said instrument is such corporate seal; that it was affixed by order of the Board of Trustees of the said Village (resolution attached); and that he signed his name thereto by like order.

Notary Public: _____

Date: _____, 2016

**Section H:
Insurance**

1. The Contractor, prior to signing of the contract, shall provide to the **Village of Pelham** and maintain throughout the life of the contract, at its own cost and expense, proof of the following insurance by insurance companies licensed in the State of New York.
- a. Workmen's Compensation. The Contractor shall take out and maintain during the life of this contract the statutory Workmen's Compensation, Disability, and Employer's Liability insurance for all of its employees to be engaged in work on the project under this Contract, and, in case any such work is sublet, the Contractor shall require the Subcontractor similarly to provide Workmen's Compensation, Disability, and Employer's Liability Insurance for all of the latter's employees to be engaged in such work.
 - b. General Liability Insurance with a single limit of liability per occurrence for bodily injury and property damage of \$2,000,000. The Certificate of Insurance shall indicate the following coverages:
 - (1) Operations;
 - (2) Any deductibles shall not be the liability of the **Village of Pelham, New York**
 - c. Automobile Liability Insurance with a single limit of liability per occurrence for bodily injury and per occurrence for property damage at \$2,000,000. This insurance shall include coverages for:
 - (1) Owned automobiles;
 - (2) Hired automobiles;
 - (3) Non-owned automobiles.
 - d. Owners and Contractors Protective Liability Policy - \$2,000,000 single limit endorsed that **Village of Pelham** is not responsible for premium.
 - e. Property Damage - Property Damage Insurance shall include the legal liability of its Contractor for loss or damage to property of the **Village of Pelham**.
 - f. Unemployment Insurance - The Contractor for the agreed consideration, promises and agrees to pay the contributions measured by the wages of his employees required by State Unemployment Insurance Laws and all amendments thereto, and to accept the account of any contribution measured by the wages as aforesaid of employees of the Contractors and its subcontractors assessed against the Owner under the authority of said law.

-
2. All policies and certificates of the Contractor shall contain clauses as follows:
 - a. The insurance companies issuing the policy or policies shall have no recourse against the **Village of Pelham, NY** for payment of any premiums or for assessments under any form of policy.
 - b. Any and all deductibles in the above described insurance policies shall be assumed by and be for the account of, and at the sole risk of the Contractor.
 - c. In case of cancellation or material change in any of the policies, thirty (30) days notice shall be given to Village Administrator, Village of Pelham, 195 Sparks Avenue, Pelham, NY, 10803 by registered mail, return receipt requested.
 3. All property losses shall be made payable to and adjusted with the Village of Pelham, NY.
 4. All policies of insurance shall be acceptable to and approved by the Village Attorney prior to the inception of any work.
 5. Other coverages may be required by the Village of Pelham, NY based on specific needs.
 6. If, at any time, any of the said policies shall be or become unsatisfactory to the **Village of Pelham, NY**, as to form or substance, or if a company issuing such a policy shall be or become unsatisfactory to the **Village of Pelham**, the Contractor shall promptly obtain a new policy, submit the same to the **Village Administrator's Office** for approval and submit a certificate thereof as hereinafter provided. Upon failure of the Contractor to furnish, deliver and maintain such insurance as above provided, this Contract, at the election of the **Village of Pelham, NY**, may be forthwith declared suspended, discontinued or terminated. Failure of the Contractor to take out and/or to maintain or the taking out and/or maintenance of any required insurance shall not relieve the Contractor from any liability under the contract, nor shall the insurance requirements be construed to conflict with the obligations of the Contractor.
 7. In the event that claims in excess of these amounts are filed by reason of any operations under the contract, the amounts of excess of such claims, or any portion thereof, may be withheld from payment due or to become due the Contractor until such time as the contractor shall furnish such additional security covering such claims.

8. The Contractor agrees to protect, defend, indemnify and hold the **Village of Pelham, NY**, and their officers, employees and agents free and harmless from and against any and all losses, penalties, damages, settlements, costs, charges, professional fees or other expenses or liabilities of every kind and character in connection with or arising directly or indirectly out of this agreement and/or the performance hereof. Without limiting the generality of the foregoing, any and all claims, etc., relating to personal injury, death, damage to property, defects in materials and workmanship, actual or alleged infringement of any patent, trademark, copyright (or application for any thereof) or of any other tangible or intangible personal or property right, or any actual or alleged violation of any applicable statute, ordinance, administrative order, rule or regulation, or decree of any court, shall be included in the indemnity hereunder.

The Contractor further agrees to investigate, handle, respond to, provide defense for and defend any such claims, etc., at his sole expense and agrees to bear all other costs and expenses related thereto, even if it (claims, etc.) is groundless, false, or fraudulent. In any case in which such indemnification would violate Section 5-322.1 of the New York General Obligations Law, or any other applicable legal prohibition, the foregoing provisions concerning indemnification shall not be construed to indemnify the **Village of Pelham, NY** for damage arising out of bodily injury to persons or damage to property caused by or resulting from the sole negligence of the **Village** or its employees.

HOLD HARMLESS AGREEMENT

RE: Performing work at Wolfs Lane Park, Village of Pelham

for _____

I / we _____, will indemnify and hold harmless the Village of Pelham, and it's officials, servants, agents or employees for any damages or personal injuries sustained by any myself or person or persons, performing work on Village of Pelham property where such claims do not arise from damage caused solely by the willful actions and or negligence of the Village of Pelham, it's officials, servants, agents and employees.

Signature

Date

Signature

Date

**Section I:
General Conditions**

1: Notification & Scheduling:

Notify the Village of Pelham at least two (2) business days prior to commencing work. Schedule all work in a careful manner with all necessary consideration for neighbors and the public, being mindful of the provisions of the Code of the Village of Pelham. Work shall not begin before 8 a.m. and shall cease at hours later than 6 p.m., unless otherwise authorized in writing from the Village of Pelham.

2: Hours of Work:

Work affecting traffic flow shall be limited to between the hours 9:00 a.m. and 4:00 p.m. unless otherwise approved by the Village, such as in declared emergency situations.

3: Site(s) Inspection:

Site Inspection -- Prior to all work, carefully inspect the entire site and all objects designated to be removed.

4: Protection of Utilities:

It is the Contractor's responsibility to determine the exact location of and preserve in good operating condition all active utilities traversing the sites. In case of any damage or injury caused in performance of the work, Contractor shall, at his own expense, make good on or repair such damage or injury to the satisfaction of and without cost to the Village. Existing roads, sidewalks and curbs damaged during the project work shall be repaired or replaced to their original condition before the completion of operations.

5: Protection of Structures:

Any walls, curbs, sidewalks or adjacent structures should be given particular attention and care to prevent damage and/or destruction.

6: Quality Assurance:

Contractor shall provide at least one person who shall be present at all times during operations who shall be thoroughly familiar with the procedures involved and who shall direct and coordinate the operation.

7: Job Conditions/Maintenance and Protection of Traffic:

Use all necessary means to protect objects and structures that will remain. Provide, erect and maintain all barriers, warning signs, flag-men and other items as required for the proper protection of the workers engaged in demolition operations, the public, and any other related work taking place. Protect all public and private property adjacent to and on the job-site.

**Section J:
Terms of Payment**

Payment shall be made based on work performed and on receipt by the Village of Contractor's invoice(s) no more than one (1) invoice per month.

No payment shall be made for work not done, or for work only partially completed.

Payment will be for actual work and will be for totals agreed upon between the Village and the Contractor.

Payment will be made by the Village no later than thirty (30) days after the date of receipt of any invoice by the Village, unless there is any dispute as to a particular item. In the case of any dispute, the Village must put the contractor on written notice to hold payment on that item, with the item(s) listed, and that item(s), or those item(s), will be removed from the bill and held for review until resolved.

Invoices shall be submitted within one hundred eighty (180) days from when the work occurred. Work must have occurred by the end of the term of this contract, which is established as six (6) months from the execution date of this contract.



WOLF'S LANE PARK SITE IMPROVEMENTS

FOR THE

Village of Pelham

195 Sparks Ave. Pelham, New York



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SEAN JANCOSKI LANDSCAPE ARCHITECTS

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Surveyor
Thomas C. Merritts Land Surveyors, P.C.
394 Bedford Road
Pleasantville, N.Y. 10570
(914)769-8003

Base Information Taken from Topographic Survey Dated July 12, 2016

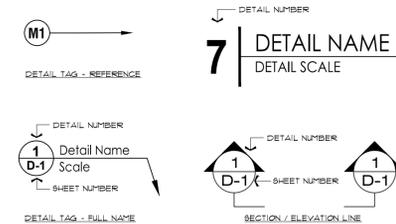
LEGEND, KEY & ABBREVIATIONS

V.I.F.	Verify in Field
V.L.A. VLA	Verify with L.A.
P.C. PC	Pool Contractor
L.C. LC	Landscape Contractor
F.C. FC	Fence Contractor
M.C. MC	Masonry Contractor
D.C. DC	Deck Contractor
B.M. BM	Bench Mark
F.F. FF	Finish Floor
F.F.E. FFE	Finish Floor Elevation
T.R. TR	Top of Rock
B.R. BR	Bottom of Rock
INV. IN	Invert In Elevation
INV. OUT	Invert Out Elevation
T.W. TW	Top of Wall Elevation
B.W. BW	Bottom of Wall Elevation
T.C. TC	Top of Curb Elevation
B.C. BC	Bottom of Curb Elevation
T.S. TS	Top of Step/Stairs Elevation
B.S. BS	Bottom of Step/Stairs Elevation
S.E. SE	Soil Elevation
R.P. RP	Radius Point
R. RAD.	Radius
P.T. PT	Point of Tangency
P.C. PC	Point of Curvature
C.B. CB	Catch Basin
D.I. DI	Drain Inlet
U/W u/w	Underwater
U/G u/g	Underground
+101.5	Proposed Spot Elevation
+ (101.5)	Existing Spot Elevation
	Proposed Contour
	Existing Contour
	Proposed Spot Grades

LIST OF DRAWINGS

- 1 OF 4 TOPOGRAPHY OF PROPERTY PREPARED FOR VILLAGE OF PELHAM (T. MERRITTS)
- 2 OF 4 TOPOGRAPHY OF PROPERTY PREPARED FOR VILLAGE OF PELHAM (T. MERRITTS)
- 3 OF 4 TOPOGRAPHY OF PROPERTY PREPARED FOR VILLAGE OF PELHAM (T. MERRITTS)
- 4 OF 4 TOPOGRAPHY OF PROPERTY PREPARED FOR VILLAGE OF PELHAM (T. MERRITTS)
- L-0 OVERALL SITE PLAN - PROJECT AREAS
- L-0.A NYAC AVE. WALK DEMOLITION AND REMOVALS PLAN
- L-0.B VILLAGE GREEN DEMOLITION AND REMOVALS PLAN
- L-0.C NATIVE GARDEN DEMOLITION AND REMOVALS PLAN
- L-0.D SECOND ST. ENTRANCES DEMOLITION AND REMOVALS PLAN
- L-0.E WOLFS LN. SEATING DEMOLITION AND REMOVALS PLAN
- L-0.F BOULEVARD ENTRANCE DEMOLITION AND REMOVALS

- L-1.A NYAC AVE. WALK LAYOUT, MATERIALS AND GRADING PLAN
- L-1.B VILLAGE GREEN LAYOUT, MATERIALS AND GRADING PLAN
- L-1.C NATIVE GARDEN LAYOUT, MATERIALS AND GRADING PLAN
- L-1.D SECOND ST. ENTRANCES LAYOUT, MATERIALS AND GRADING PLAN
- L-1.E WOLFS LN. SEATING LAYOUT, MATERIALS AND GRADING PLAN
- L-1.F BOULEVARD ENTRANCE LAYOUT, MATERIALS AND GRADING PLAN
- D-1 DETAILED PLANS
- D-2 DETAILED PLANS AND DETAILS
- D-3 DETAILS
- D-4 DETAILS
- D-5 SITE PREPARATION AND EROSION CONTROL DETAILS



INSTRUCTIONS AND GENERAL SPECIFICATIONS TO CONTRACTORS

- 1. PROJECT SCOPE:**
This proposal is for landscape development work for the Village of Pelham and is situated at:
**Wolf's Lane Park
Pelham, NY**
- 2. OWNER:**
The Owners referred to in these specifications is the **Village of Pelham**
- 3. LANDSCAPE ARCHITECT:**
The Landscape Architect referred to in these specifications is **Sean Jancoski Landscape Architects**.
- 4. SITE EXAMINATION:**
The contractor, before submitting a bid on the work, is assumed to have visited the site for the purpose of observing firsthand, any conditions relevant to the completion of the work. No considerations will be given on any claim based on lack of knowledge of existing conditions. The Landscape Architect will not be responsible for and will not have control or charge of construction means, methods, techniques, sequences, procedures, or for safety precautions and programs in connection with the work. The Landscape Architect will not be responsible for the Contractor's failure to carry out the work in accordance with the Contract Documents. The Landscape Architect will not be responsible for or have control or charge over the acts or omissions of the Contractor, Subcontractors, or any of their agents or employees, or any other persons performing any of the work.
- 5. DISCREPANCIES:**
All discrepancies shall be brought to the attention of the Landscape Architect during the bidding period.
- 6. AWARD OF CONTRACT:**
The Owner and Landscape Architect will examine the proposals and will notify each successful bidder. All proposals shall include an itemized schedule of payments, which are subject to approval by Owner and Landscape Architect.

GENERAL NOTES TO CONTRACTORS

- 1. CONTRACT DOCUMENTS:**
The contract documents consist of the Agreement, the drawings, the specifications, and all addenda issued prior to the execution of the contract, and all modification thereto.
- 2. DETAIL DRAWINGS AND SPECIFICATIONS CONFLICTS:**
Contractors are to notify Landscape Architect should a conflict occur in or between drawings, specifications, field conditions and construction layout.
- 3. GRADES, LINES, LEVELS, AND SURVEYS:**
Each contractor shall engage a licensed surveyor to establish the lot lines and restrictions as necessary to accomplish their work. The contractors shall provide an "As Built Survey" prepared by a licensed surveyor as required by the local municipality. The finished elevations shall correspond to those indicated on the drawings.
- 4. PROTECTION:**
Each contractor shall at all times, provide protection for his scope of work against rain, wind, storms, frost, or heat so as to maintain all work, materials, apparatus and fixtures free from injury or damage. At the end of a day's work, all new work likely to be damaged, shall be covered and protected. Any work damaged by failure to provide protection as required above, shall be removed and replaced with new work at the contractor's expense.
- 5. MANUFACTURER'S DIRECTIONS:**
All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned as directed by the manufacturer unless herein specified to the contrary.
- 6. WORKMANSHIP:**
Compliance with the drawings and specifications with regard to materials and methods of assembly will, not in itself, assure acceptance of the construction. Of equal importance is good workmanship, the lack of which will be sufficient cause to refuse acceptance of the construction. The Contractor shall at all times enforce discipline and good order among his employees and shall not employ on the work any unfit person or anyone not skilled in the task assigned to him.

7. SCOPE OF WORK:

Contractor shall furnish and install all material and equipment shown, listed or described on the drawings or in these specifications, subject to qualifications, conditions or exceptions as noted. Contractors also, shall furnish all labor, scaffolding, and tools necessary to complete the work. Work shall be continuous and (weather permitting) the Contractor shall have job fully staffed at all times.

8. MEASUREMENTS AND DIMENSIONS:

Prior to ordering any construction materials, Contractor shall verify all dimensions by taking measurements at the building site and shall be responsible for their correctness. Any discrepancies between drawings and/or specifications and existing conditions shall be referred to the Landscape Architect for adjustment before any work affected thereby is begun.

9. LAYING OUT WORK:

All work of every character and description shall be laid out on premises by Contractor, (for his scope of work), who will be held responsible for any errors and for it's correctness. Layout shall then be observed by L.A. prior to commencement of construction.

10. FOREMAN:

Contractor shall have at the building site, from start to finish of construction, a responsible foreman. In addition, contractor shall give his personal supervision to the work. Foreman shall be on duty during all working hours. Any instruction or notices given to him shall have same importance as if given to the contractor in person.

11. TEMPORARY PROVISIONS:

- The Owner shall provide the following temporary provisions:
- a. Temporary power and light (the contractor shall supply and maintain his own wiring, lamps and connections required for job completion.)
 - b. Temporary water supply (the contractor shall supply all lines, valves, hoses and similar equipment needed for job completion.)
 - c. All other provisions shall be the responsibility of the contractor.

12. CONTRACTOR'S INSURANCE:

Contractor shall maintain such insurance as will protect him from claims under Workman's Compensation Acts and other employee benefits from claims for damages to property which may arise out of and during operations under this contract, whether such operations be by himself or by any subcontractors or anyone directly or indirectly employed by either of them. The contractor shall file with the Owner a certificate for property damage insurance in the limits of \$500,000. for each accident and \$1,000,000. for the aggregate of operation. The contractor shall also obtain any additional insurance required by the State of New York and the Village of Pelham.

13. SPECIAL CONDITIONS:

- a. Any shop drawings required shall be submitted to the Landscape Architect with an original and three copies.
- b. Samples shall be submitted in sufficient size to represent the product properly.
- c. All contractors involved in excavation, demolition, drilling, blasting, and/or other work involving disturbance of existing grade shall first contact Call Before You Dig Customer Service/Underground Utilities Call Center at: 811 before undertaking such work. The responsibility for making this call rests entirely with the contractor or sub-contractor involved in such work.

14. PERMITS:

Each contractor shall secure all permits as may be required before commencing his scope of work, post all bonds and pay all fees necessary to complete the work.

15. CODES:

All work shall be performed in accordance with the building code requirements of the State of New York and the Village of Pelham.

Landscape Architect



Sean Jancoski ASLA LEED-AP
43 Purchase Street
Rye, New York 10580
(914) 947-1904 Phone
sean@sjlandscapearchitects.com

No.	Date	Revision Information
1	8/16/16	Issued for Review
1	9/21/16	Issued for Bidding

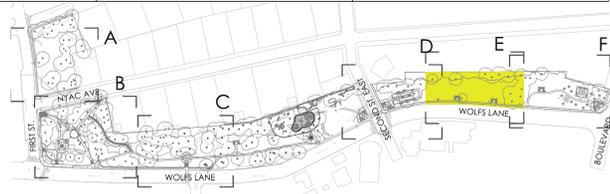
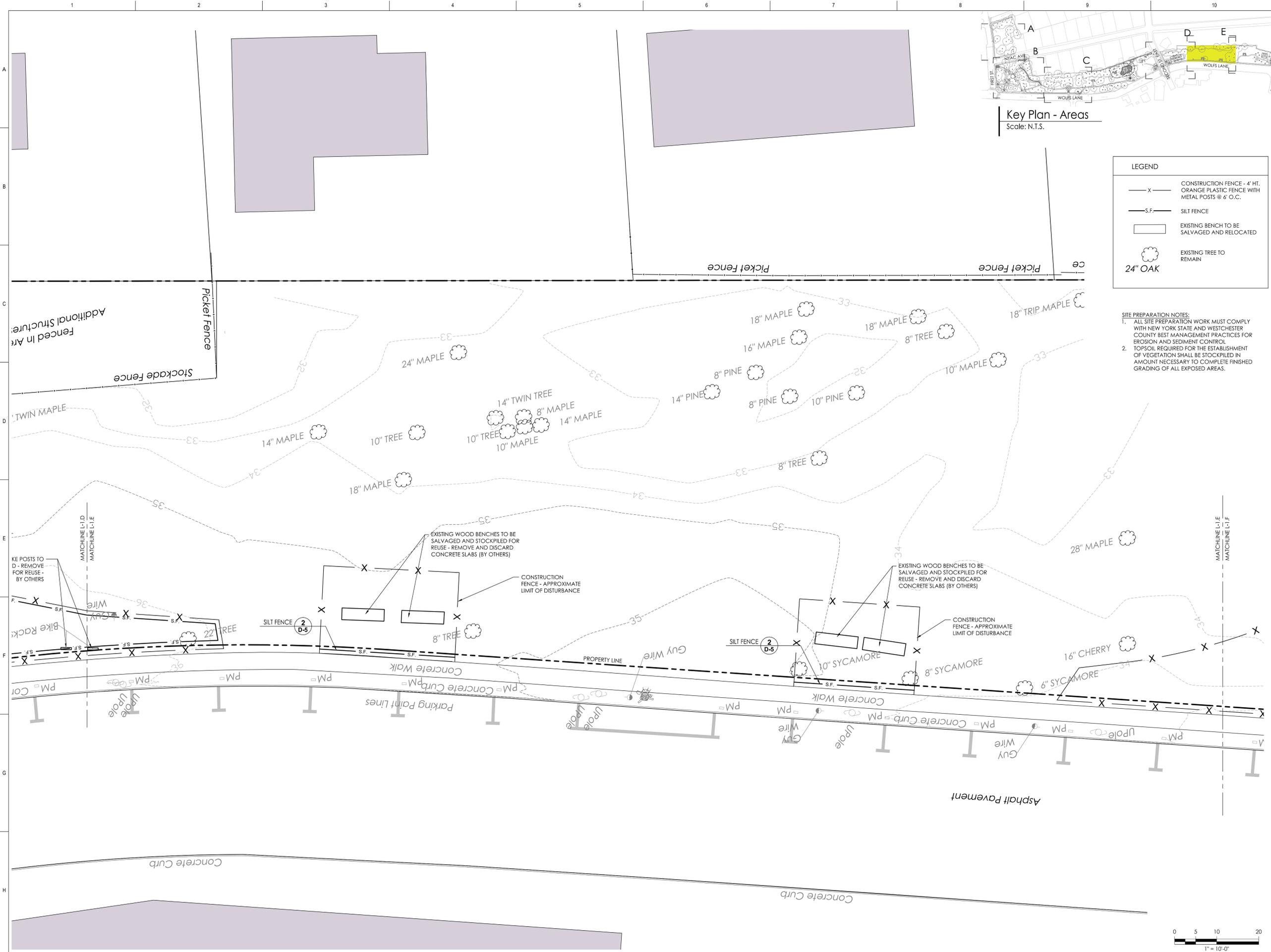
Titlesheet and General Specifications

for

**Wolf's Lane Park
Pelham, NY 10803**

Drawn By: **OV**

T-1



Key Plan - Areas
Scale: N.T.S.

LEGEND

- CONSTRUCTION FENCE - 4' HT. ORANGE PLASTIC FENCE WITH METAL POSTS @ 6' O.C.
- SILT FENCE
- EXISTING BENCH TO BE SALVAGED AND RELOCATED
- EXISTING TREE TO REMAIN
-

- SITE PREPARATION NOTES:**
- ALL SITE PREPARATION WORK MUST COMPLY WITH NEW YORK STATE AND WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL.
 - TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.

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SEAN JANCZKI LANDSCAPE ARCHITECTS

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Surveyor
Thomas C. Merritts Land Surveyors, P.C.
394 Bedford Road
Pleasantville, N.Y. 10570
(914) 769-8003

Base Information Taken from Topographic Survey
Dated July 12, 2016

Landscape Architect
SJ seanjanczki
LANDSCAPE ARCHITECTS
Sean Janczki ASLA LEED-AP
43 Purchase Street
Rye, New York 10580
(914) 967-1904 Phone
sean@SJlandscapearchitects.com

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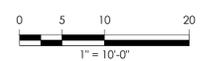
Wolfs Ln. Seating (Area E)
Demolition and Removals Plan

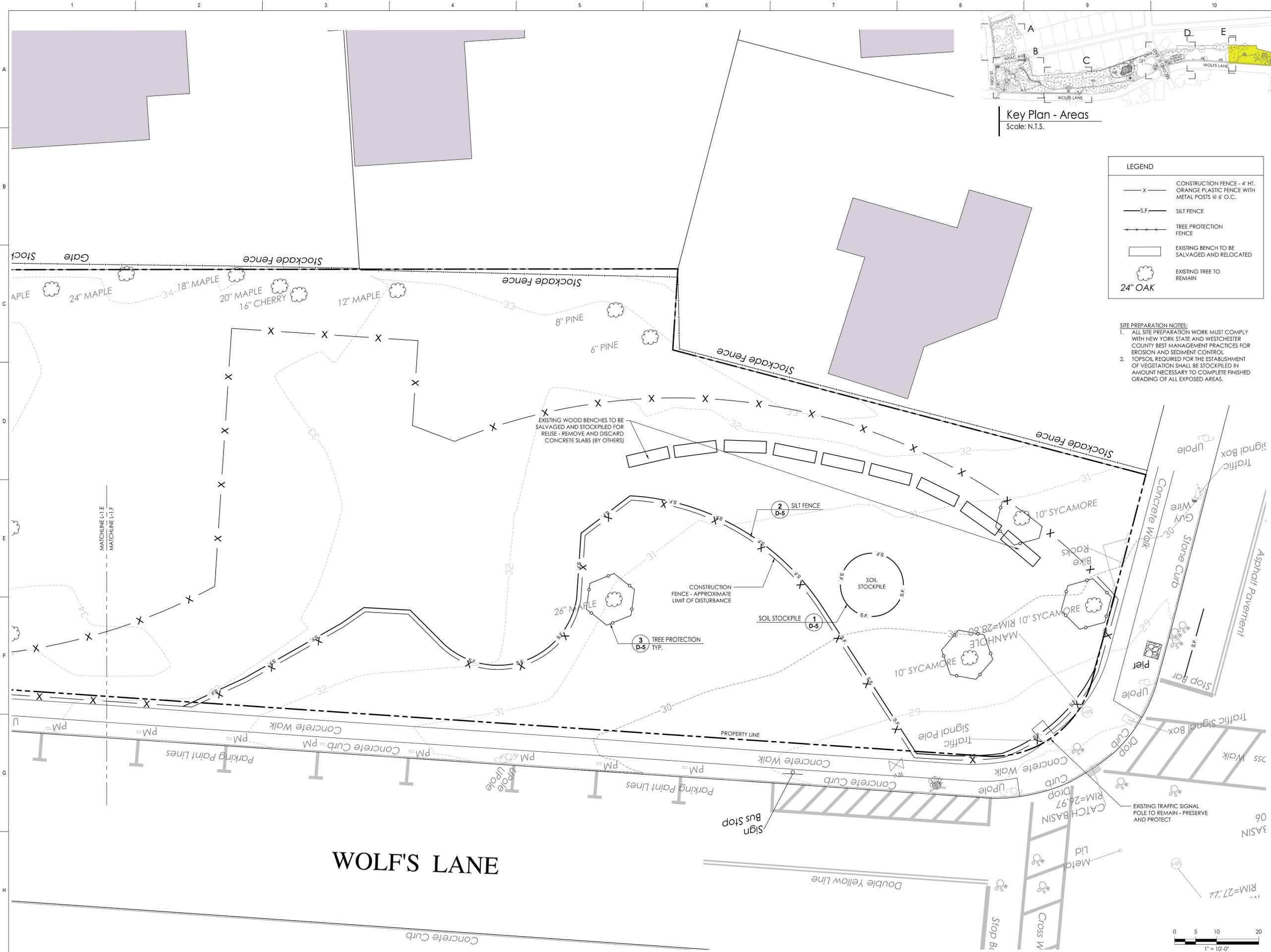
for
Wolf's Lane Park
Wolf's Lane
Pelham, NY 10803

Drawn By: **JA**

L-O-E

Scale: 1" = 10'-0" Date: August 16, 2016





Key Plan - Areas
Scale: N.T.S.

LEGEND

— x —	CONSTRUCTION FENCE - 4' HT. ORANGE PLASTIC FENCE WITH METAL POSTS @ 6' O.C.
— S.F. —	SILT FENCE
— ○ —	TREE PROTECTION FENCE
□	EXISTING BENCH TO BE SALVAGED AND RELOCATED
○	EXISTING TREE TO REMAIN
○	24" OAK

- SITE PREPARATION NOTES:**
- ALL SITE PREPARATION WORK MUST COMPLY WITH NEW YORK STATE AND WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL.
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Surveyor
Thomas C. Merritts Land Surveyors, P.C.
394 Bedford Road
Pleasantville, N.Y. 10570
(914) 769-8003

Base Information Taken from Topographic Survey
Dated July 12, 2016

Landscape Architect

SJ seanjancski
LANDSCAPE ARCHITECTS
Sean Jancski ASLA LEED-AP
43 Purchase Street
Rye, New York 10580
(914) 967-1904 Phone
sean@SJLandscapearchitects.com

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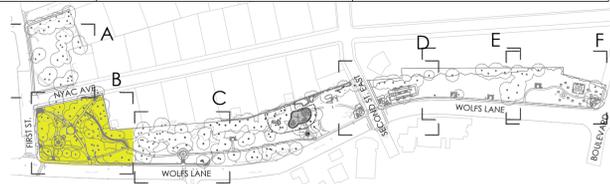
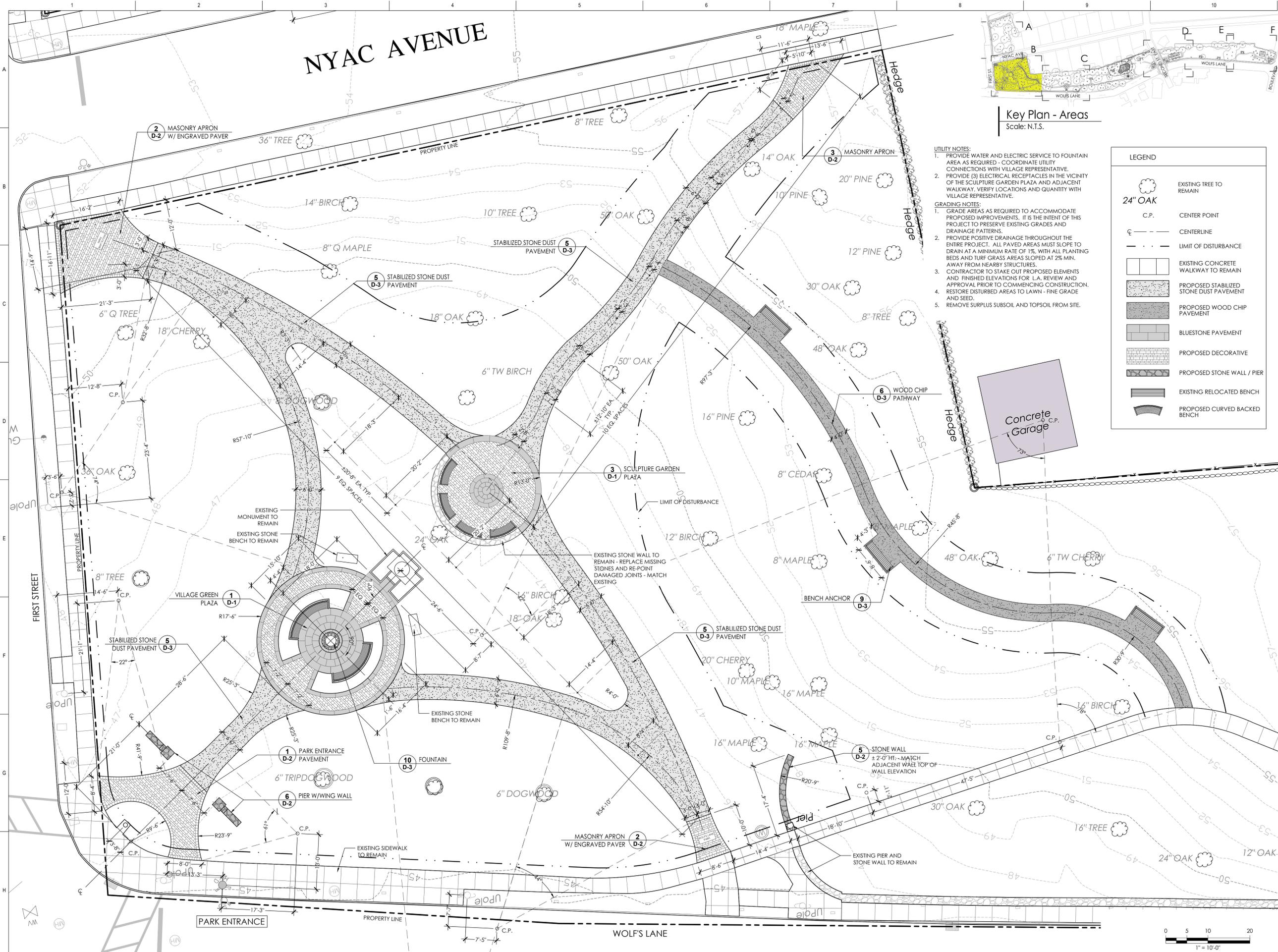
**Boulevard Entrance (Area F)
Demolition and Removals Plan**

for
**Wolf's Lane Park
Wolf's Lane
Pelham, NY 10803**

Drawn By: JA.OV

L-O-F

Scale: 1" = 10'-0" Date: August 16, 2016



Key Plan - Areas
Scale: N.T.S.

- UTILITY NOTES:**
1. PROVIDE WATER AND ELECTRIC SERVICE TO FOUNTAIN AREA AS REQUIRED - COORDINATE UTILITY CONNECTIONS WITH VILLAGE REPRESENTATIVE.
 2. PROVIDE (3) ELECTRICAL RECEPTACLES IN THE VICINITY OF THE SCULPTURE GARDEN PLAZA AND ADJACENT WALKWAY. VERIFY LOCATIONS AND QUANTITY WITH VILLAGE REPRESENTATIVE.
- GRADING NOTES:**
1. GRADE AREAS AS REQUIRED TO ACCOMMODATE PROPOSED IMPROVEMENTS. IT IS THE INTENT OF THIS PROJECT TO PRESERVE EXISTING GRADES AND DRAINAGE PATTERNS.
 2. PROVIDE POSITIVE DRAINAGE THROUGHOUT THE ENTIRE PROJECT. ALL PAVED AREAS MUST SLOPE TO DRAIN AT A MINIMUM RATE OF 1% WITH ALL PLANTING BEDS AND TURF GRASS AREAS SLOPED AT 2% MIN. AWAY FROM NEARBY STRUCTURES.
 3. CONTRACTOR TO STAKE OUT PROPOSED ELEMENTS AND FINISHED ELEVATIONS FOR L.A. REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
 4. RESTORE DISTURBED AREAS TO LAWN - FINE GRADE AND SEED.
 5. REMOVE SURPLUS SUBSOIL AND TOPSOIL FROM SITE.

LEGEND	
	EXISTING TREE TO REMAIN
C.P.	CENTER POINT
	CENTERLINE
	LIMIT OF DISTURBANCE
	EXISTING CONCRETE WALKWAY TO REMAIN
	PROPOSED STABILIZED STONE DUST PAVEMENT
	PROPOSED WOOD CHIP PAVEMENT
	BLUESTONE PAVEMENT
	PROPOSED DECORATIVE
	PROPOSED STONE WALL / PIER
	EXISTING RELOCATED BENCH
	PROPOSED CURVED BACKED BENCH

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Surveyor
Thomas C. Merritts Land Surveyors, P.C.
394 Bedford Road
Pleasantville, N.Y. 10570
(914) 769-8003

Base Information Taken from Topographic Survey
Dated July 12, 2016

Landscape Architect

SJ seanjanski
LANDSCAPE ARCHITECTS

Sean Jancski ASLA LEED-AP
43 Purchase Street
Rye, New York 10580
(914) 967-1904 Phone
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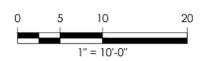
Village Green (Area B)
Layout, Materials and Grading Plan

for
Wolf's Lane Park
Wolf's Lane
Pelham, NY 10803

Drawn By: JA, OV

L-1.B

Scale: 1" = 10'-0" Date: August 16, 2016

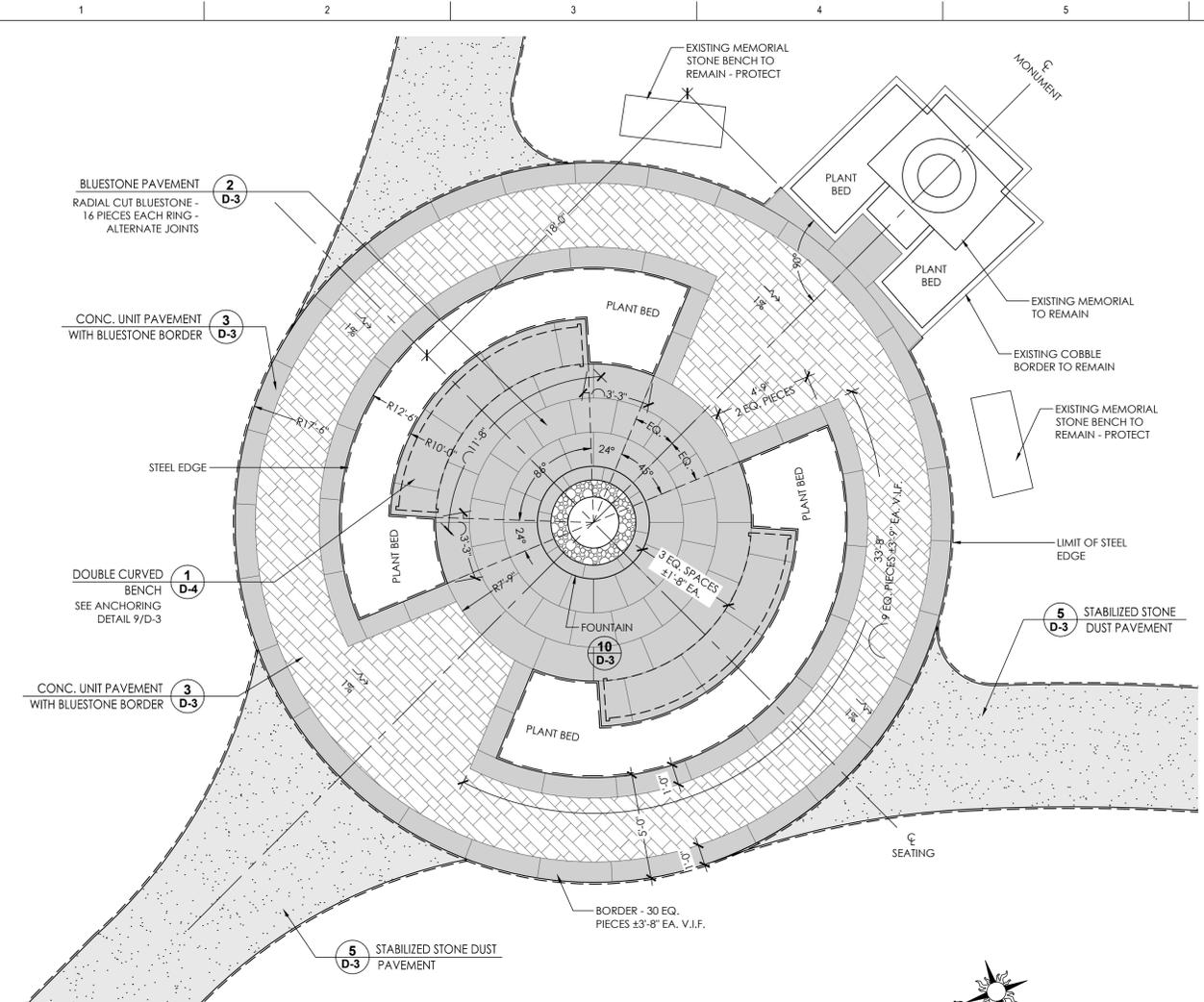


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SEAN JANCSKI LANDSCAPE ARCHITECTS

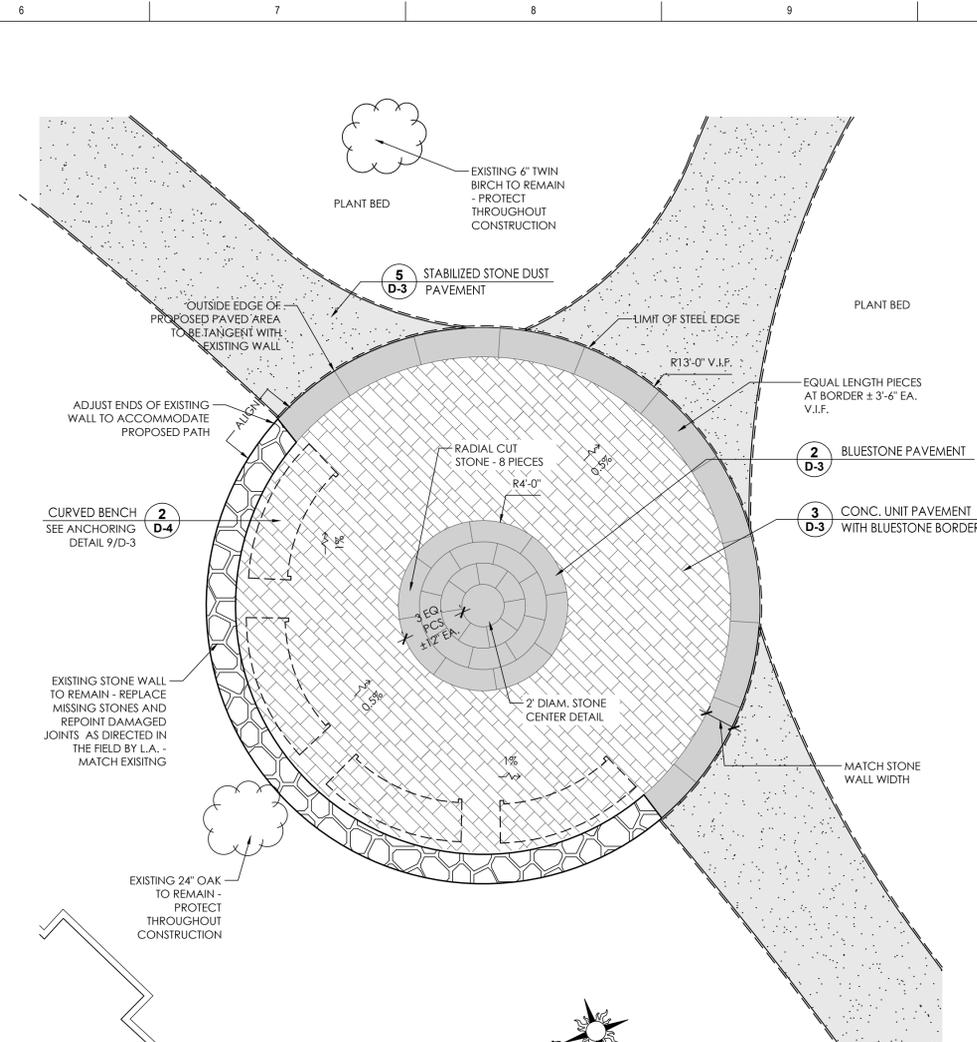
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Surveyor
Thomas C. Merritts Land Surveyors, P.C.
394 Bedford Road
Pleasantville, N.Y. 10570
(914) 769-8003

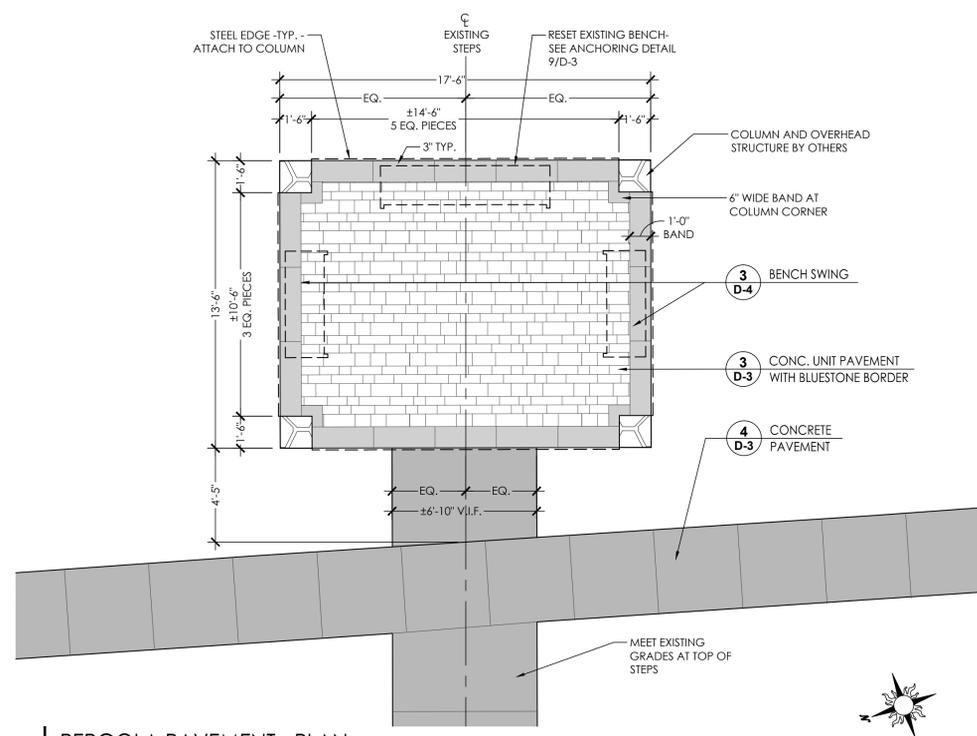
Base Information Taken from Topographic Survey
Dated July 12, 2016



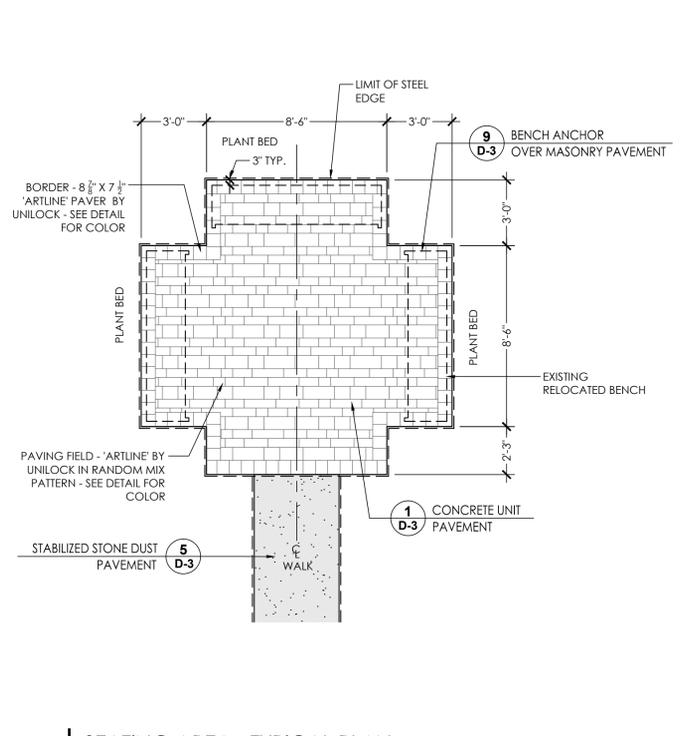
1 VILLAGE GREEN PLAZA - PLAN
Scale: 1/4"=1'-0"



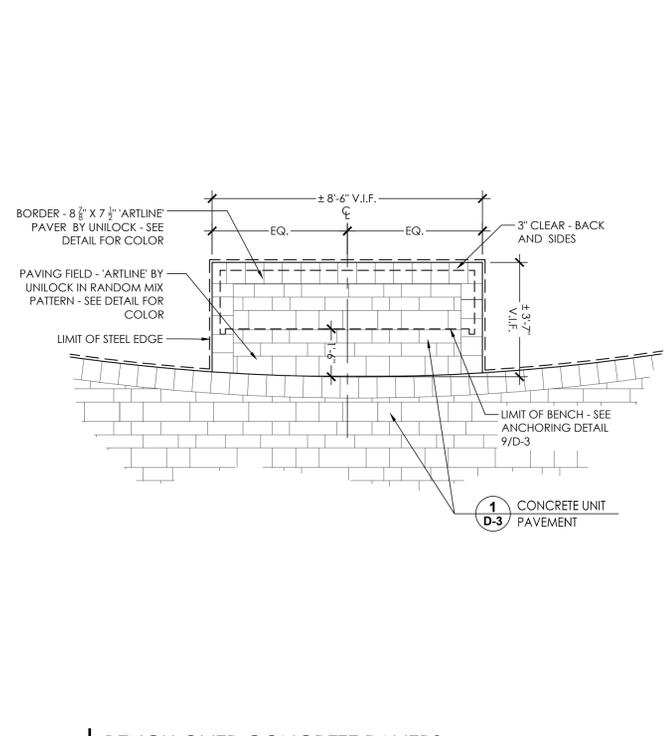
3 SCULPTURE GARDEN PLAZA - PLAN
Scale: 1/4"=1'-0"



2 PERGOLA PAVEMENT - PLAN
Scale: 1/4"=1'-0"



4 SEATING AREA - TYPICAL PLAN
Scale: 1/4"=1'-0"



5 BENCH OVER CONCRETE PAVERS
Scale: 3/8"=1'-0"

Landscape Architect
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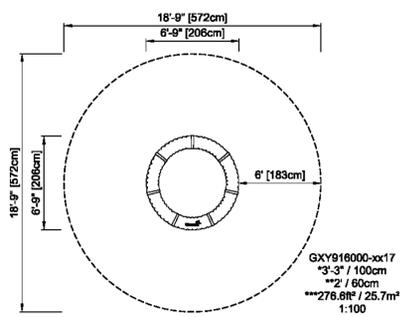
No.	Date	Revision Information
1	8/16/16	Issued for Review
1	9/2/16	Issued for Bidding

Detailed Plans
for
Wolf's Lane Park
Wolf's Lane
Pelham, NY 10803

Drawn By: JM.OV



WINDEMERE DOUBLE CURVED BENCH WITH ANCHORING HARDWARE BY COUNTRY CASUAL
TEL: 800-289-8325 OR APPROVED EQUAL. SUPPLIED BY OWNER - INSTALLED BY CONTRACTOR



1 DOUBLE CURVED BENCH
Scale: N.T.S.



GXY916000 SUPERNOVA - BLUE SOLITAIRE SPINNER BY KOMPAN
TEL: 800-426-9788
OR APPROVED EQUAL SUPPLIED BY OWNER - INSTALLED BY CONTRACTOR

NOTES:
INSTALL AS PER MANUFACTURER SPECIFICATIONS. PROVIDE CONCRETE FOOTING TO FROST DEPTH FOR EACH OF THE 5 SUPPORT POSTS

5 PLAY EQUIPMENT
Scale: N.T.S.



WINDEMERE CURVED BENCH WITH ANCHORING HARDWARE BY COUNTRY CASUAL
TEL: 800-289-8325 OR APPROVED EQUAL. SUPPLIED BY OWNER - INSTALLED BY CONTRACTOR

2 CURVED BENCH
Scale: N.T.S.



OUTDOOR TENNIS TABLE IN CONCRETE BY HENGE TEL: 212-777-6539
www.hengetable.com OR APPROVED EQUAL. SUPPLIED BY OWNER - INSTALLED BY CONTRACTOR

NOTES:
1. INSTALL AS PER MANUFACTURER SPECIFICATIONS.
2. TABLE FINISH: SILK
NET: PRISM IN STAINLESS STEEL FINISH W/ PARK NAME ENGRAVING

6 OUTDOOR TENNIS TABLE
Scale: 3/4"=1'-0"



WINDEMERE 5 FT. SWING BY COUNTRY CASUAL
TEL: 800-289-8325 OR APPROVED EQUAL. SUPPLIED BY OWNER - INSTALLED BY CONTRACTOR

3 BENCH SWING
Scale: N.T.S.



NOTE:
PROVIDE AUGER TYPE ANCHOR WITH STEEL CABLE FOR EACH TABLE. SUBMIT PRODUCT SPECIFICATIONS FOR L.A. APPROVAL

LARCHMONT PICNIC TABLE BY COUNTRY CASUAL
TEL: 800-289-8325 OR APPROVED EQUAL. SUPPLIED BY OWNER - INSTALLED BY CONTRACTOR

4 PICNIC TABLE
Scale: N.T.S.

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Dated July 12, 2016

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No.	Date	Revision Information
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Details

for
Wolf's Lane Park
Wolf's Lane
Pelham, NY 10803

Drawn By: **OV**

D-4

